



RECORDED - 47-1188-RECORDED

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DATE: 11/11/11

BY: [Signature]

COUNTY OF LOS ANGELES FIRE DEPARTMENT NOTES:

- Approved building address numbers, building numbers or approved building identification shall be provided and maintained so as to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Fire Code 505.1.
- The required fire flow for PUBLIC fire hydrants at this location is 1,250 gpm, at 20 psi residual pressure, for a duration of 2 hours over and above maximum daily domestic demand. Fire Code 507.3 and Appendix B105.1 Appendix B.
- At least one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a minimum clear width of 32 inches when measured between the face of the door and the stop. The minimum clear height of the door shall not be less than 78 inches in height measured from the top of the threshold to the stop. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort. Residential Code R311.2.
- An automatic residential fire sprinklers system for one- and two-family dwellings shall be designed and installed in accordance with Section R313.3 or NFPA 13D.
- All roof coverings shall be Class "A" as specified in Building Code 1505.2. Wood-shingle and wood-shake roofs are PROHIBITED in Very High Fire Hazard Severity Zones, regardless of classification. Residential Code R337.5 and R902.1.1.
- Roof valley flashings shall be not less than 0.019-inch (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. Residential Code R337.5.3 and 705A.3.
- Roof gutters shall be provided with a means to prevent the accumulation of leaves and debris in the gutter. Residential Code R337.5.4 and 705A.4.
- Exterior wall vents shall resist the intrusion of flame and embers into the structure or vent openings shall be protected by corrosion resistant, noncombustible wire mesh with 1/4 inch openings.
- Prior to building permit final approval, the property shall be in compliance with the vegetation clearance requirements prescribed in California Public Resources Code Section 4291, California Government Code Section 51182 and this code. Residential Code R327.1.5.
- Clearance of brush and vegetative growth shall be maintained per Fire Code 317.2.2.
- A final fuel modification plan shall be submitted and approved by the Forestry Division prior to building plan approval. Implementation of the approved Final Fuel Modification Plan and final inspection will be required prior to approval of final occupancy. Submit 3 copies of a completed fuel modification plan to the Fuel Modification Unit: Fire Station 32, 605 N. Angeleno Avenue, Azusa 91702-2904. Phone (626) 969-5205, fax (626) 969-4848 (Fire Code 317.2.1).
- Provide 1/2" plywood at all exterior walls at Main House and Garage in conjunction with the Hardie Siding, the thickness achieved satisfies 1 Hr. Rating Fire-Resistance.
- Smoke alarm shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery backup. Residential Code R314.4.
- In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection. Building Code 907.2.11.4.
- Household fire alarm systems installed accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device, it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72 Residential Code R314.
- Smoke alarms shall be installed in the following locations: 1. In each sleeping room. 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms. 3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. Residential Code R314.3.
- Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirement of UL 2075. Carbon monoxide alarms required by Sections R315.1 and R315.2 shall be installed in the following locations: 1. Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s). 2. On every level of a dwelling unit including basements. Residential Code R315.3.

DRAINAGE NOTES

- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10 feet; lot shall be graded to drain surface water away from foundation walls - per Section R401.3.



General Notes

- A separate Public Works permit will be required for any approach to private driveways, sewer laterals, curbs, curb cores, street improvements or any work in the public right of way or parklands. Note: Public works permits are valid for 30 days and any work in the right away or parklands without a permit is subject to three times the normal fees.
- All special inspectors shall be registered with the City of Palos Verdes Estates prior to performing any inspections and shall also notify the Building Official of each job location thereafter.
- All stairways shall have a rise; 7 1/2" maximum and a run 10" minimum per section R311.7.4.1 and R311.7.4.2. The minimum headroom 6'-8" is required per section R311.7.2 of the CRC.
- The Existing vegetation within the City right-of-way must be trimmed and maintained at height no greater than 30 inches above the driveway height within 10 feet of the curb line.

LEGEND

- Landscaping
- One Story Element
- Two Story Element
- 5' Wide - Firefighter access
- Block Wall
- Existing Grade
- Proposed Grade
- Setback Line
- F.C. Finished Concrete
- T.W. Top of Wall
- T.R. Top of Railing
- F.F.E Finished Floor Elevation
- T.C. Top of Curb
- F.L. Flowline at Street
- F.S. Finished Surface

JOB ADDRESS

2245 VIA LA BREA
PALOS VERDES ESTATES, CA 90274

LEGAL DESCRIPTION

LOT 17, BLOCK 1635
TRACT NO. 7330
M.B. 90-37-39
APN 7545-009-017

IMPORTANT NOTE:
TOPOGRAPHY LINES
SHOWN THROUGH HOUSE
ARE BASED ON ORIGINAL
SURVEY FOUND AT HOMES
ASSOCIATION FROM 1969
TOPOGRAPHY LINES
SHOWN AS LINE BELOW

CONSTRUCTION
MUST MATCH
DRAWN DETAILS
EXACTLY

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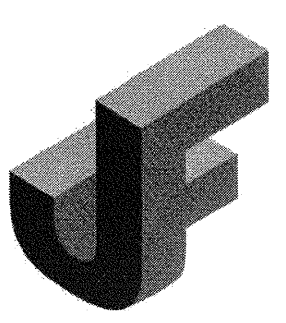
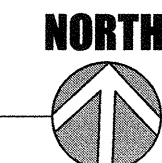
The distance from the fire hydrant to the property line is 30' ± via vehicular access. The fire flow services will be rendered from a 6-inch diameter water main. The hydrant is located on Via La Brea 350' West of Via Acalones. Under normal operating conditions the fire flow available from this 4" Wharthead hydrant is 2223 GPM at 20 PSI residual for 2 hours at 54 PSI Static.

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2240 VIA LA BREA
APN 7545-011-028
PALOS VERDES ART JURY
Preliminary Art Jury approval of this submission does not constitute a design approval. Preliminary approval is an approval in concept only.



SITE PLAN
1/8" = 1'-0"



JOSEPH FOURNIER
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LONG BEACH, CA 90814
PHONE:
310-617-4856
INSTAGRAM:
JFOURNIERDESIGN
WEBSITE:
WWW.JFOURNIERDESIGN.COM

GOLNAZ ESLAMI
2245 Via La Brea, Palos Verdes Estates

DATE

SIGNATURE

JOSEPH FOURNIER
REVISED

- 1
- 2
- 3
- 4
- 5

PROJECT #
2018 - 23

A1

Master Suite

- 50 48" fireplace by "Fire Rock B-Vent Model" ESR-2599 - gas appliance only - Use (5) (A14) slim
- 51 Provide 20" minimum stone hearth - consult developer about raised or flush condition
- 52 Outline of built in cabinetry per developer
- 53 Cased out opening - furr down to 8'-0"
- 54 Full height linen cabinet per owner
- 55 Provide 1x T&G at ceiling
- 56 Outline of floor/deck above
- 57 Consult designer about furr down areas if needed for ducting - Use (10) (A12)
- 58 Recess sliding french doors 6" as shown
- 59 Base cabinet with countertop against pony wall
- 60 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 61 Outline of upper cabinet above water closet
- 62 Provide knee space at this location for possible vanity
- 63 Consult developer for closet shelving and storage
- 64 Tiled shower, glass enclosure, and seat as shown - tile all the way to the ceiling or 6' min. height
- 65 Shampoo shelf located 5' off of floor
- 66 Outline of stand alone tub per developer
- 67 Outline of brick veneer - see (2) (A12) (3) (A12)
- 68 Under counter refrigerator
- 69 Provide access door to crawl space at this location
- 70 See detail (6) (A13) for baseboards at this floor, typical
- 71 Glass door to shower shall swing out from interior of shower - see plans
- 72 Outline of dryer vent exhaust

Stairs, Lower Hall, Recreation Room
Crawl Space

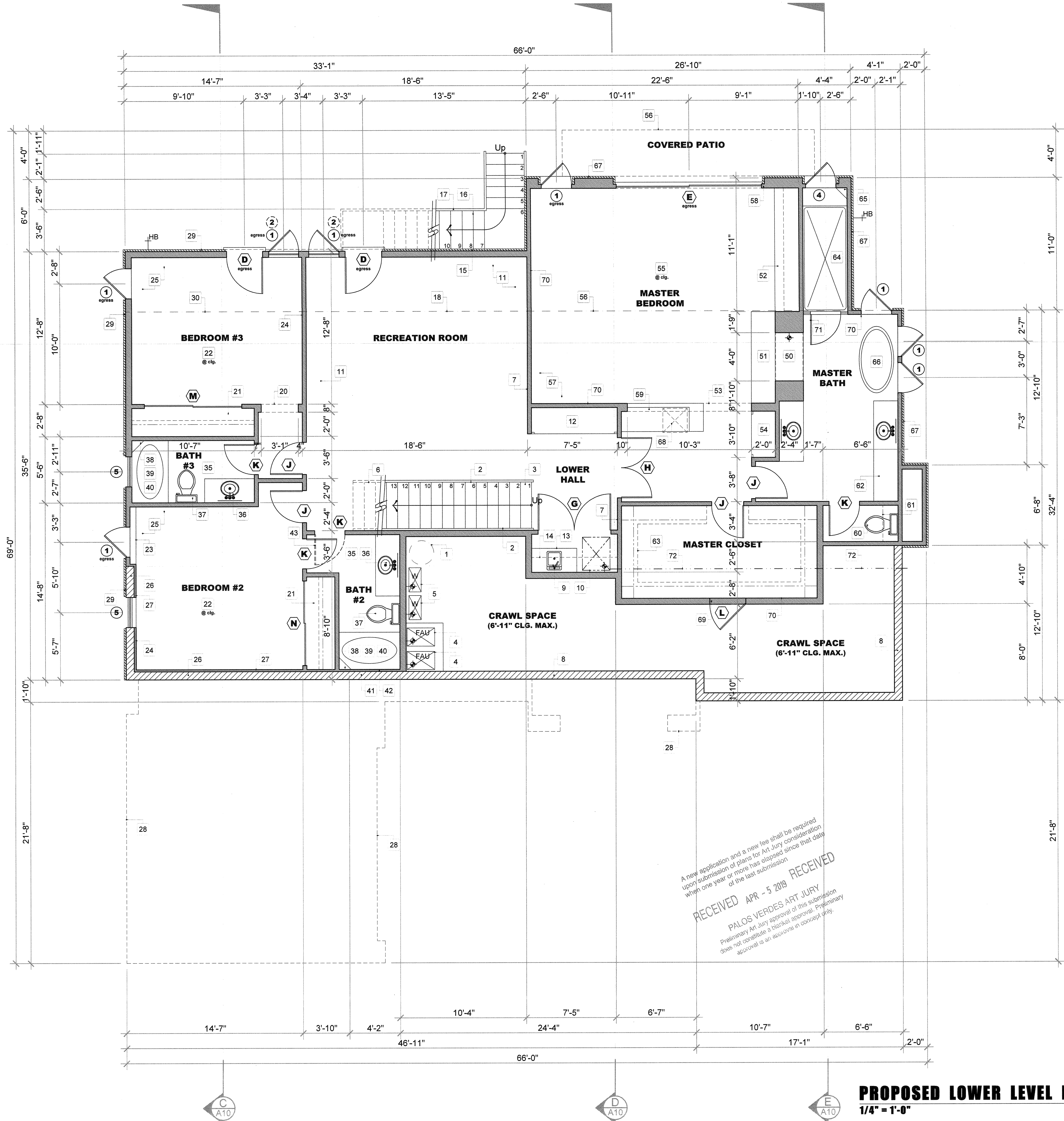
- 1 Provide sewage ejector pump in floor at this location
- 2 Provide 34" to 38" tall handrail per (1) (A13) (7) (A13)
- 3 See (4) (A13) and (5) (A13) for stair construction
- 4 Forced air unit on 18" tall raised platform
- 5 Tankless water heater location
- 6 Outline of stairs above - Provide one hour construction per (3) (A12)
- 7 See detail (6) (A13) for baseboards at this floor, typical
- 8 Outline of retaining wall
- 9 Outline of laundry
- 10 Stacked washer and dryer per owner - vent exhaust to outside air
- 11 Consult designer about furr down areas if needed for ducting - Use (10) (A12)
- 12 Full height linen cabinet
- 13 Base cabinets with countertop per owner
- 14 Provide upper cabinetry or shelving per owner
- 15 Outline of brick veneer - see (2) (A12) (3) (A12)
- 16 Exterior metal staircase to be designed by others (deferred submittal) - provide shop drawings and calculations to building official before ordering
- 17 42" tall glass guardrail designed by others (deferred submittal) provide shop drawings and calculations to building official before ordering
- 18 Outline of floor/deck above

Bedroom #2 and #3

- 20 Outline of cased out opening - consult client about finish treatment - furr down to 8'-0"
- 21 Wardrobe closet with pole and shelf
- 22 Consult developer about 1x T&G at ceiling
- 23 Wood cap at this window
- 24 See detail (6) (A13) for baseboards at this floor, typical
- 25 Consult designer about furr down areas if needed for ducting - Use (10) (A12)
- 26 Outline of retaining wall
- 27 Provide 2x pressure treated studs against retaining wall - can be placed flat if necessary
- 28 Outline of garage/entry above
- 29 Outline of brick veneer - see (2) (A12) (3) (A12)
- 30 Outline of floor/deck above

Bath #2 and #3

- 35 If necessary, furr down ceiling to 8'-3" to accommodate HVAC
- 36 Base cabinet with countertop and sink selected by owner - provide mirror above
- 37 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 38 Shampoo shelf located 5' off of floor
- 39 Cast iron tub per owner
- 40 Tiled shower/tub and glass enclosure - tile to ceiling or min. 6' in height.
- 41 Outline of retaining wall
- 42 Provide 2x pressure treated studs against retaining wall - can be placed flat if necessary
- 43 Possible door at this location - consult owner



A new application and a new fee shall be required upon submission of plans for Art Jury consideration when one year or more has elapsed since that date of the last submission.

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PALOS VERDES ART JURY

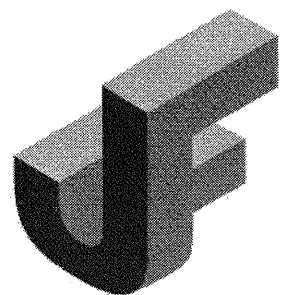
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CONSTRUCTION MUST MATCH DRAWN DETAILS EXACTLY

PROPOSED LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"
Living 2,035 sq ft

DATE
SIGNATURE
JOSEPH FOURNIER REVISED
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PROJECT # 2018 - 23



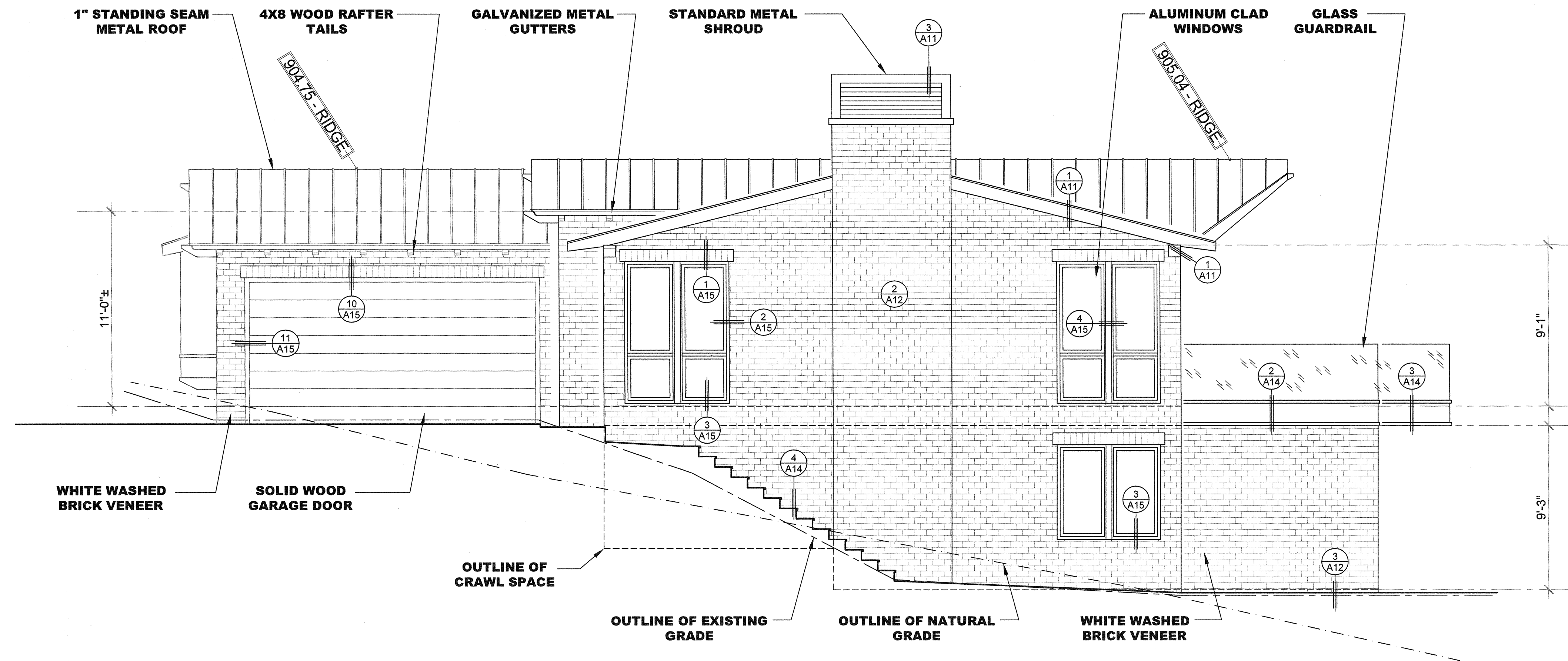
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2245 Via La Brea, Palos Verdes Estates



RIGHT SIDE EAST ELEVATION
1/4" = 1'-0"

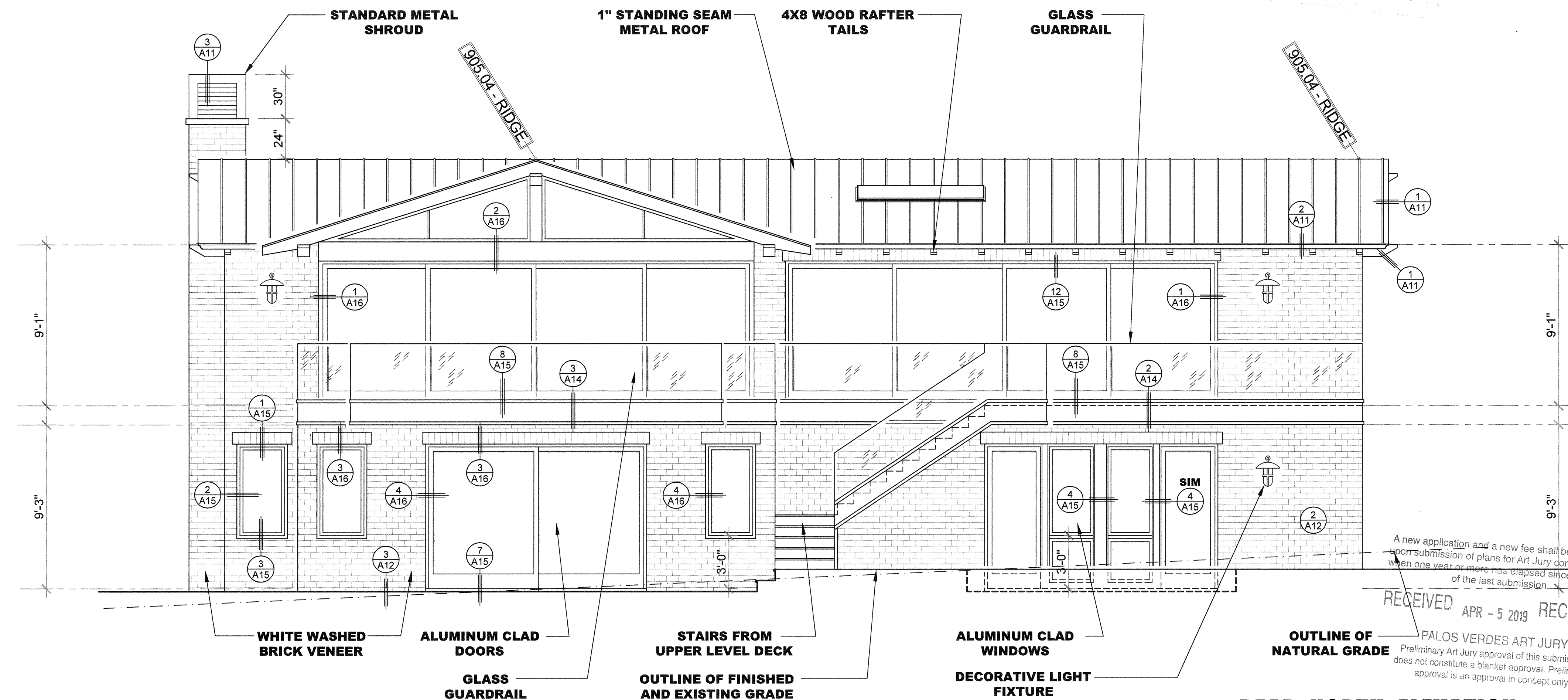
NOTE: ANY CHANGES TO THE
DETAILS OR DESIGNS ON THE
EXTERIOR ELEVATIONS
TO BE REVIEWED BY THE ART
JURY PRIOR TO ANY CHANGES

**CONSTRUCTION
MUST MATCH
DRAWN DETAILS
EXACTLY**

ART JURY EXTERIOR ELEVATION NOTES

- Muntins shall be an integral part of all windows and doors. "Snap-in/snap out" muntins are not allowed. **SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW.** Muntins may be no greater than 1 1/2" maximum on windows with insulated glass, since wood muntins must cover the gasket. The maximum muntin size for single panes shall be no greater than 1". Note on window schedule manufacturer and material of window. Muntin detail to be included on detail sheet.
- "Sill horn at all windows to extend a maximum of 2" to a minimum of 1 1/2" or shall match existing." Provide drawn detail indicating extended sill. Wood door stiles to be a maximum of 4 1/2" width.
- Any deviation from approved window and door muntin light sizes **MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**
- Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
- Skylight shall be flat glass, curb mounted dark anodized frame, solar gray or solar bronze glass.
- Submit samples of all materials for Art Jury review prior to purchase.
- Submit separate landscape plan prior to framing.

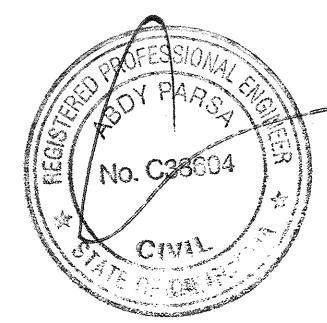
RIDGE HEIGHT NOTE:
Finished ridge height shall not exceed the elevation shown on the plot plan (Allow for thickness of roofing materials). The ridge height shall be certified by a licensed surveyor on a form provided by the City prior to approval of the roof framing/sheathing by the Palos Verdes Estates Building and Safety Department.



REAR NORTH ELEVATION
1/4" = 1'-0"

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DATE	
SIGNATURE	
JOSEPH FOURNIER REVISED	
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PROJECT #	2018 - 23

A8