

MILLER RESIDENCE

1636 Paseo Del Mar, Palos Verdes Estates, CA

OWNER Rich Miller
121 21st Street
Manhattan Beach, CA 90266 (310) 941-9029

APPLICANT Jeffrey A. Dahl / Architect
1102 Main St.
Huntington Beach, CA 92648 (714) 847-8480

PROJECT ADDRESS 1636 Paseo Del Mar, Palos Verdes Estates, CA

LEGAL DESCRIPTION Lot 10, Block 1270, Tract 7140

LOT SIZE: 11,586 sq ft

ALLOWABLE FLOOR AREA
5,226.4 sq ft equals the smaller of 30% (lot size) + 1,750 or 50% (lot size)

NOTE
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED PER CRC SECTION R313.2

SCOPE OF WORK

- New 2 Story Residence
Occupancy R3/U Building Type VB

Living	3,770 sq ft
Detached 3 Car Garage	682 sq ft
ADU	735 sq ft
Basement Wine Cellar	252 sq ft
Balcony	280 sq ft
- New 6 ft high CMU wall (100 lin ft)
- Temporary Power Pole
- Rear Driveway Approach at Alley
- Pool and Spa (by separate permit)

SCHEDULE OF DRAWINGS

- T Title Sheet / Site Plan
- T1 Vicinity Map / Site Sections / Conditions of Approval
- T2 Site Survey
- T3 Green Standards Requirements
- T4 Green Standards Requirements
- A1 1st Floor Plan
- A2 2nd Floor Plan
- A3 Exterior Elevations
- A4 Exterior Elevations
- A5 Garage / ADU Floor Plans
- A6 Garage / ADU Exterior Elevations
- A7 Garage / ADU Exterior Elevations
- A8 Roof Plan / Door and Window Schedules
- A9 Building Sections
- A10 1st Floor Electrical Plan
- A11 2nd Floor Electrical Plan
- A12 Garage / ADU Electrical Plans
- A13 Architectural Details
- A14 Architectural Details
- S1 Foundation Plan
- S2 2nd Floor Framing Plan
- S3 Roof Framing Plan
- S4 Garage / ADU Foundation Plan
- S5 Garage / ADU Framing Plans
- SD0 Structural Details
- SD1 Structural Details
- SD2 Structural Details
- SD3 Structural Details
- SD4 Structural Details
- SD5 Structural Details
- SD6 Structural Details
- SN1 Structural Notes & Specifications
- HPX1 Hardy Frame/ANCH
- HPX2 Hardy Frame/FRMG
- HPX3 Hardy Frame/FLRS
- T-24 Title 24 Energy Compliance (Main Residence)
- T-24 Title 24 Energy Compliance (Main Residence)
- T-24 Title 24 Energy Compliance (ADU)

PALOS VERDES ESTATES NOTES

- The yard drainage improvements shall be inspected and certified by the Engineer of Record prior to final approval.
- All construction waste and debris must be containerized at all times & must be Athens dumpsters only (call 1-888-336-6100).
- A re-inspection fee will be charged for an inspection which is not accessible, or approved plans are not on site, or job is not ready.
- The Owner shall provide for the planting of trees in the parkway adjacent to the site of the building in accordance with the regulations of Chapter 12.16 of the City Code and subject to the review of the Parklands Committee.
- All General Contractors, Sub-Contractors, Architects, and Engineers conducting business within the City of Palos Verdes Estates are required to maintain a current City Business License as described in the Municipal Code Ordinance No. 092-559 and Resolution No. R92-72.
- All work shall conform to the 2019 California Building Code, 2019 California Residential Code, 2019 California Plumbing Code, 2019 California Mechanical Code, 2019 California Electrical Code, the current requirements of the Energy and County of Los Angeles Fire Code and the 2019 Green Building Standards Code.
- Any and all deviations from the Planning Commission approved plans require that revised plans to be submitted to the Planning Department/Commission for review and approval.
- Pre-demolition meeting required with City Building Inspector, General Contractor, Owner or Owner's agent, Soils Engineer and Grading Contractor, prior to any work commencing on the site.
- A survey shall be provided by a licensed surveyor on structures which define property lines, setbacks, designated parkland or street right-of-way.
- Erosion control measures shall be in place and maintained (year round) throughout the duration of the project.
- Dust Control Measures shall be maintained throughout the duration of the project.
- A separate Public Works permit will be required for any approach to private driveways, sewer laterals, curbs, curb corners, street improvements or any work in the public right of way or parklands. Note: public work permits are valid for 30 days and any work in the right of way or parklands is subject to three (3) times the normal fees.
- Final approval required by the Public Works Department for street improvements, curb corners, curbs/gutters, etc.
- Any drainage directed to the street through piping shall be drawn up by a licensed Civil Engineer and submitted to the City Engineer for approval prior to obtaining a Public Works permit for curb curbing.
- Per local requirements, the working hours are between 7:00 AM to 7:00 PM Monday through Thursday, 7:00 AM to 5:30 PM on Friday and 9:00 AM to 5:30 PM on Saturday.
- All special inspectors shall be registered with the City of Palos Verdes Estates and shall be performing any inspections and shall also notify the Building Official of each job location thereafter.
- The CF-6R form shall be completed prior to final inspectors (New Construction).

CONSULTANTS

ARCHITECT Jeffrey A Dahl / Architect
1102 Main Street
Huntington Beach, CA 92648
(714) 847-8480
jeff@vadahdahl.com

STRUCTURAL ENGINEER Beyond Engineering Inc.
15901 Hawthorne Blvd., Suite 200
Lawndale, CA 90260
(310) 793-8410
info@beyondengineering.com

SOILS ENGINEER Nancel Engineering
10641 Humbolt Street
Los Alamitos, CA 90720
(562) 799-9464

CIVIL ENGINEER Boulton Engineering Corp.
25834 Narbonne Ave., Suite 210
Lomita, CA 90717
(310) 325-5560
www.boultonengineering.com

LANDSCAPE ARCHITECT Alan McGregor
16332 Bradbury Lane
Huntington Beach, CA 92648
(714) 846-0968
almcra@gmail.com

COUNTY OF LOS ANGELES

FIRE DEPARTMENT NOTES 2019CFC, 2020 LAGoFC

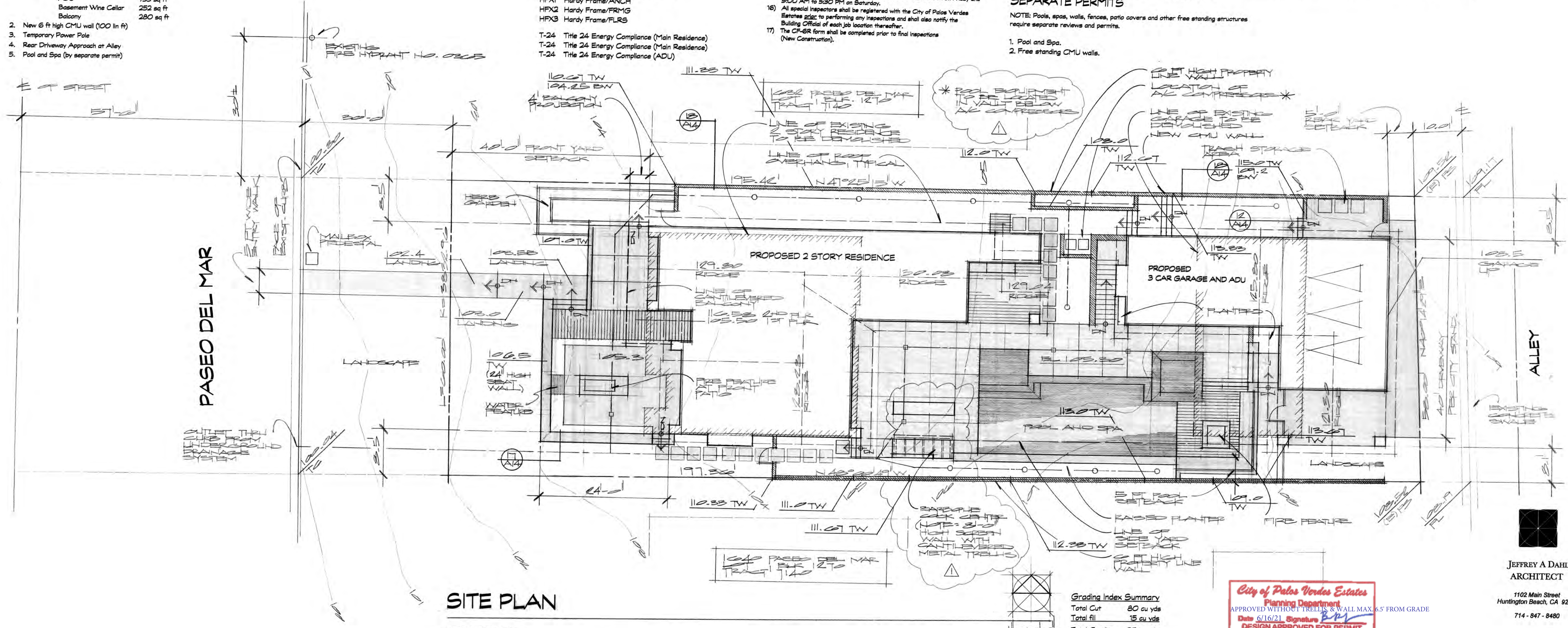
Type of Construction per the Building Code	Vb
VHF6Z	Yes
Occupancy	R3 /U
Size of Lot	11,586 sq ft
Fire flow based on fire-flow calculation area	2,250 gpm
Reduction for fire sprinklers (maximum 50%)	1,250 gpm
Total fire flow required	1,250 gpm

- Provide an approved automatic fire sprinkler system as set forth by the Building Code 903 and Fire Code 903. Plans shall be submitted to the Sprinkler Check Unit for review and approval prior to installation. (Reason: An automatic residential fire sprinklers system for one and two family dwellings shall be designed and installed in accordance with Section R313.3 or NFPA 13C). Type of fire sprinkler system: 903.3.1.1, 903.3.1.2, 903.3.1.3
- Clearance of brush and vegetative growth shall be maintained per Fire Code 325.
- Comply with Title 24, 310.9.1 regarding fire warning systems. Smoke detectors to be hard-wired with a battery backup.
- Approved building address numbers, building numbers or approved building identification shall be provided and maintained so as to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches in heights with a minimum stroke width of 0.5 inch. Fire Code 505.1
- The fire-resistive rating of exterior walls and openings with a fire separation distance shall comply with Building Code Table 602, Table 715.4 and Table 715.5.
- All roof coverings shall be Class "A" as specified in Building Code 1505.1.1 (Residential Code R327.5.2 & R502).
- Roof valley flashings shall be not less than 0.019-inch (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 3/8-inch wide underlayment consisting of one layer of No. 72 ASTM cap sheet meeting running the full length of the valley. (Residential Code R327.5.3 and Building Code 705A.3)
- Roof Gutters shall be provided with a means to prevent the accumulation of leaves and debris in the gutter. (Residential Code R327.5.34 and Building Code 705A.4)

LIST OF IMPROVEMENTS REQUIRING SEPARATE PERMITS

NOTE: Pools, spas, walls, fences, patio covers and other free standing structures require separate reviews and permits.

- Pool and Spa.
- Free standing CMU walls.



SITE PLAN

SITE PLAN NOTES:
1) See civil and landscape plans for all specific site development.

Grading Index Summary
Total Cut 80 cu yds
Total Fill 15 cu yds
Total Grading 95 cu yds

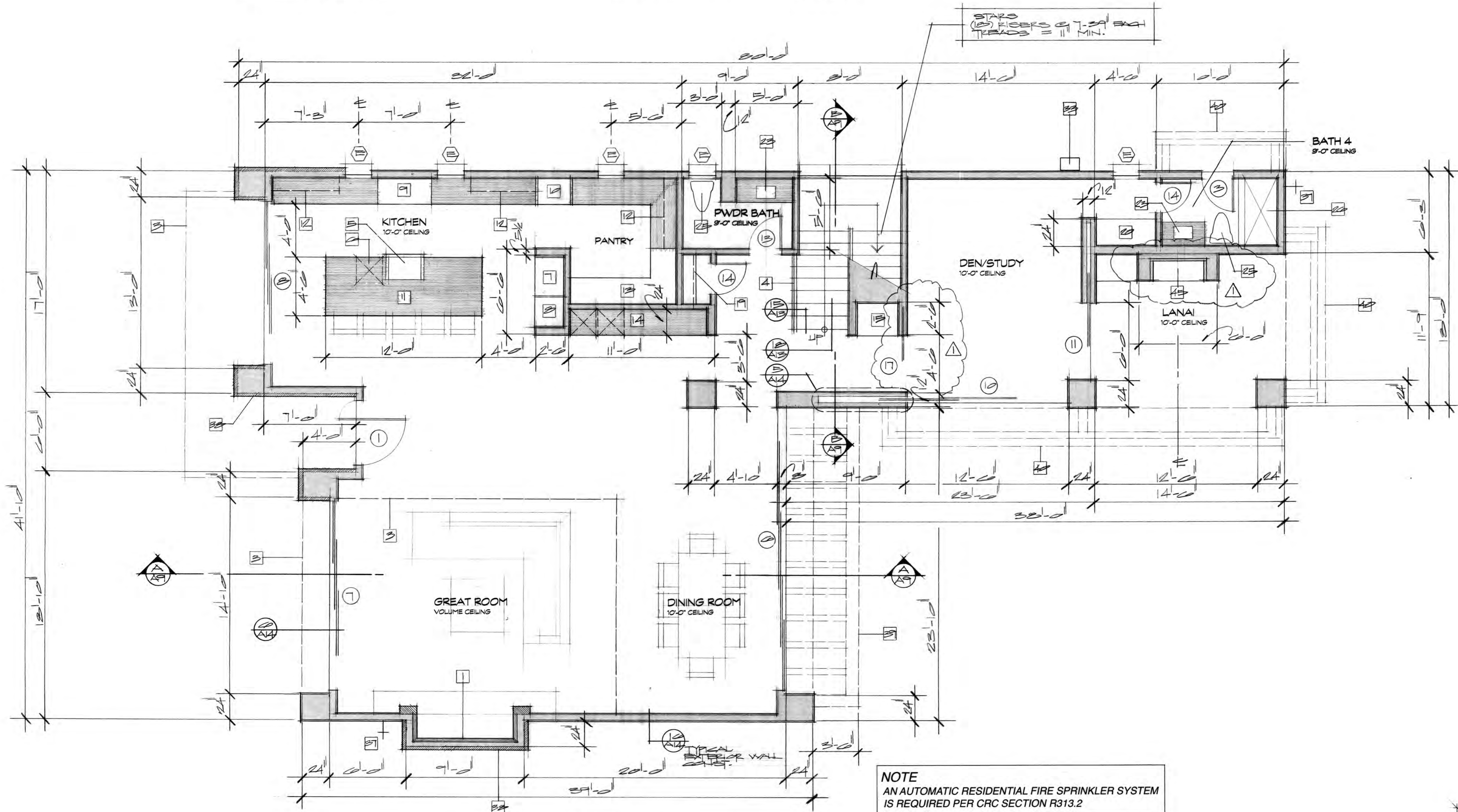


JEFFREY A DAHL
ARCHITECT

1102 Main Street
Huntington Beach, CA 92648
714 - 847 - 8480

FLOOR PLAN NOTES

- | | | | | | |
|---|--|---|--|---|--|
| <p>1) Manufactured gas only fireplace by Napoleon Custom Fireplace by Travie Industries Linear One sided 36 in x 20 in (Black glass firebox) INTERTEC Report # 100684872PRT-001 ANSI Z2150-2014 / CSA 2.22-2014</p> <p>2) Manufactured gas only fireplace by Heat & Glo / True 36 (Black glass interior panels) UL Listed MH 28669 / ANSI Z21.88-2017</p> <p>3) Line of floor/balcony/soffit above.</p> <p>4) Flat bar steel guardrail (42" High) (see referenced details)</p> <p>5) Kitchen sink with garbage disposal.</p> <p>6) Dishwasher.</p> <p>7) Refrigerator (36" wide).</p> <p>8) Freezer (30" wide).</p> <p>9) Gas cooktop/range (48" wide) with ventilation hood.</p> | <p>10) Electric wall oven/microwave (30" wide).</p> <p>11) Island (36" high, 4 1/2 ft by 12 ft).</p> <p>12) Upper cabinets (with LED lighting below at kitchen area).</p> <p>13) Built-in full height storage cabinets.</p> <p>14) Built-in bar cabinet with under counter refrigerator.</p> <p>15) Built-in AV cabinet. 36" Gas range (30" wide).</p> <p>16) Built-in refrigerator (36" wide).</p> <p>17) Built-in shelves at pantry.</p> <p>18) Island (36" high, 4 ft by 7 ft).</p> <p>19) Closet shelf and pole.</p> <p>20) Built-in closet cabinet.</p> <p>21) Built-in cantilevered shelves.</p> | <p>22) Window seat.</p> <p>23) Lavatory sink with cabinet.</p> <p>24) Laundry sink.</p> <p>25) Low profile ultra low flush toilet (1.28 gal/flush max). Provide 30 inches clear width and 24 inches clear at front.</p> <p>26) Shower area to be porcelain tile, marble or granite finish over lath and plaster to ceiling with tempered glass enclosure.</p> <p>27) Built-in seat at shower.</p> <p>28) Cast iron or approved acrylic free standing tub.</p> <p>29) Open to below.</p> <p>30) Typical deck finish: Porcelain tile over class A elastomeric weatherproofing system (Slope 1/4" per foot min. and critical to drains as required). Use Duro-Tex (ICC Report ESR-1757) or approved equal.</p> | <p>31) Deck drain and overflow scupper with concealed piping to below (note: inlet flow line of scupper to be located 2 inches above low point of deck).</p> <p>32) Horizontal FAU located in attic (see Title 24 Energy Compliance Report)
Requirements:
1. Double joists supporting the unit
2. Level Platform
3. Seismic sway braces or anchor unit to platform
4. 30" minimum access
5. Light, switch outlet
6. Condensate drain to an approved plumbing fixture</p> <p>33) Tankless gas water heater, NAVEN NPE Series Wall mounted direct vent (see Title 24 Energy Compliance Report)</p> <p>34) Vent dryer to outside air (14 ft maximum run with (2) 90 degree elbows) with backdraft.</p> <p>35) One hour protection at storage area under stairs (use 5/8 inches type X gypsum board finish at wall and ceiling).</p> | <p>36) 30" attic access panel at ceiling.</p> <p>37) Hose bibb location (note: anti-siphon device).</p> <p>38) Stone veneer over lath and plaster (see exterior elevations for specifications)</p> <p>39) Cantilevered trellis above. (See referenced details at exterior elevations).</p> <p>40) Cantilevered roof element.</p> <p>41) Cantilevered tempered glass guardrail (42" High) (see referenced details)</p> <p>42) Custom linear gas fire feature.</p> <p>43) Concrete catch basin with sump pumps. (See civil plans)</p> <p>44) Built-in wine storage racking.</p> | <p>45) Manufactured exterior gas only fireplace by NAPOLEON Model Galaxy GSB48 Outdoor Fireplace INTERTEC Approved / ANZI Z21.97-2012 CSA 2.41-2012</p> <p>46) VELUX electric (VSE) operable skylight Model 506 (44 3/4" x 46 1/4")</p> <p>47) VELUX electric (VSE) operable skylight Model 501 (44 3/4" x 27 3/8")</p> <p>48) Manufactured bioethanol burning fireplace by NerZero, Forma 4055 / NZ40F O-TL Certified Report C417AFO055</p> |
|---|--|---|--|---|--|



NOTE: As of March 9, 2009 state agency (AQIMD) has passed a law that solid fuel burning fireplaces (wood burning) are no longer legal. Construction of such appliances or masonry units may still be constructed in exterior conditions as such with the requirements that a complete gas burning assembly be permanently secured attached in the firebox at final inspection. (ALL FIREPLACES MUST BE LISTED/APPROVED DGA's)

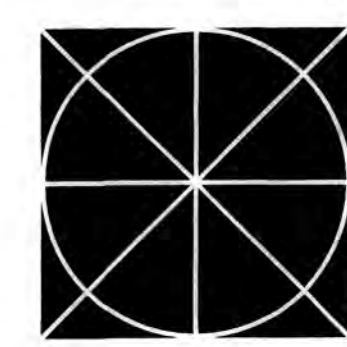
NOTE
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM
IS REQUIRED PER CRC SECTION R313.2

1ST FLOOR PLAN

- NOTES:
- 1) Use 2x6 minimum stud wall construction for all exterior walls.
 - 2) All exterior doors shall have a minimum 36 inch landing on each side of the door. Landings or floors at the required egress doors shall be not more than 1 1/2 inches lower than the top of the threshold.
 - 3) All hallways, closets, etc. to have 8'-0" minimum ceiling heights (unless noted otherwise).
 - 4) Penetrations through roof or exterior wall assemblies by ducts, pipes and/or other appurtenances shall be made water tight (CPC 312.8).

MILLER RESIDENCE
1636 Paseo Del Mar, Palos Verdes Estates, CA

JEFFREY A. DAHL
ARCHITECT
1102 Main Street
Huntington Beach, CA 92648
714-847-8480 • jeffreyadahl@verizon.net



date
12/14/2020

revisions
12/14/2020

1/9/2021

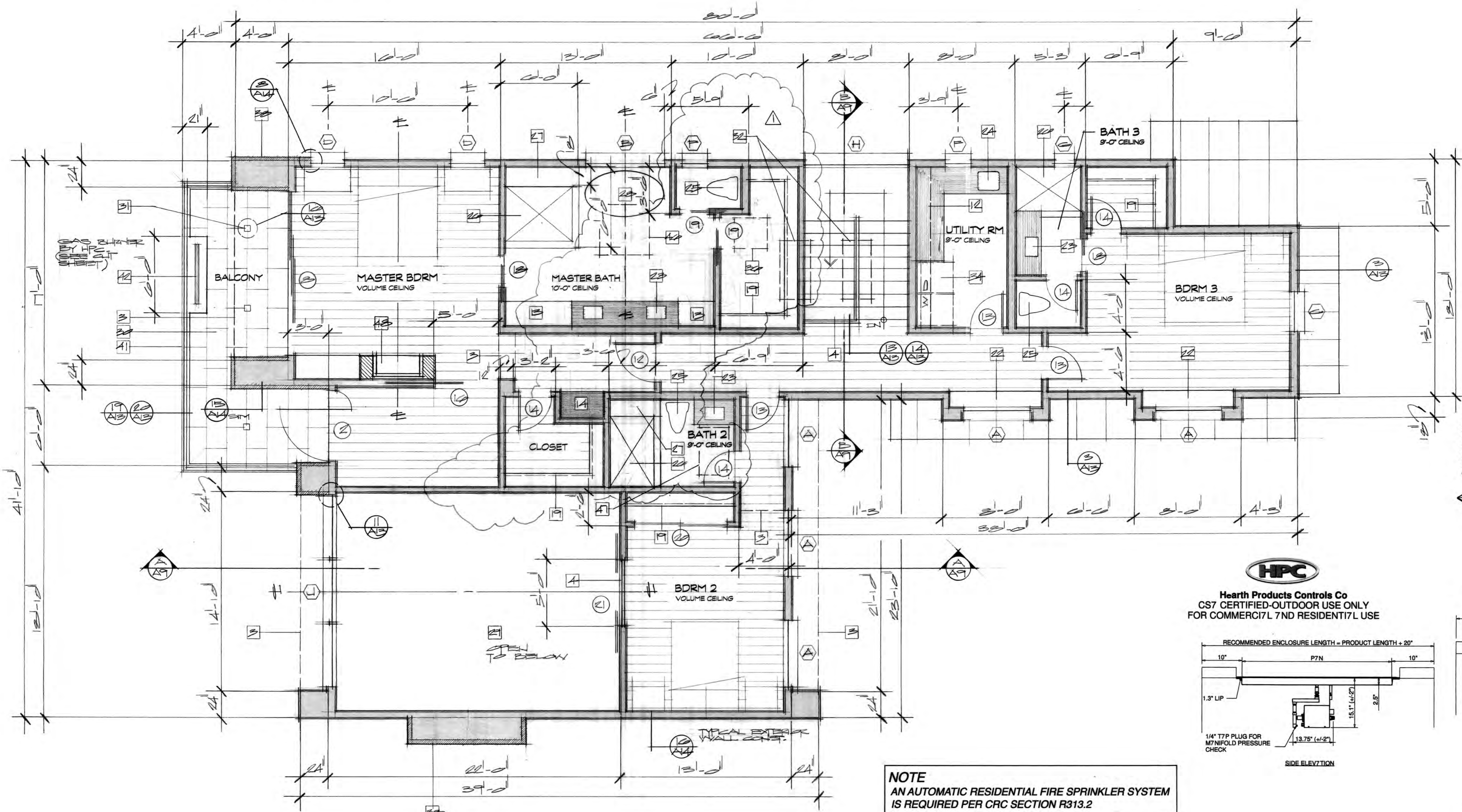
4/19/2021

drawing

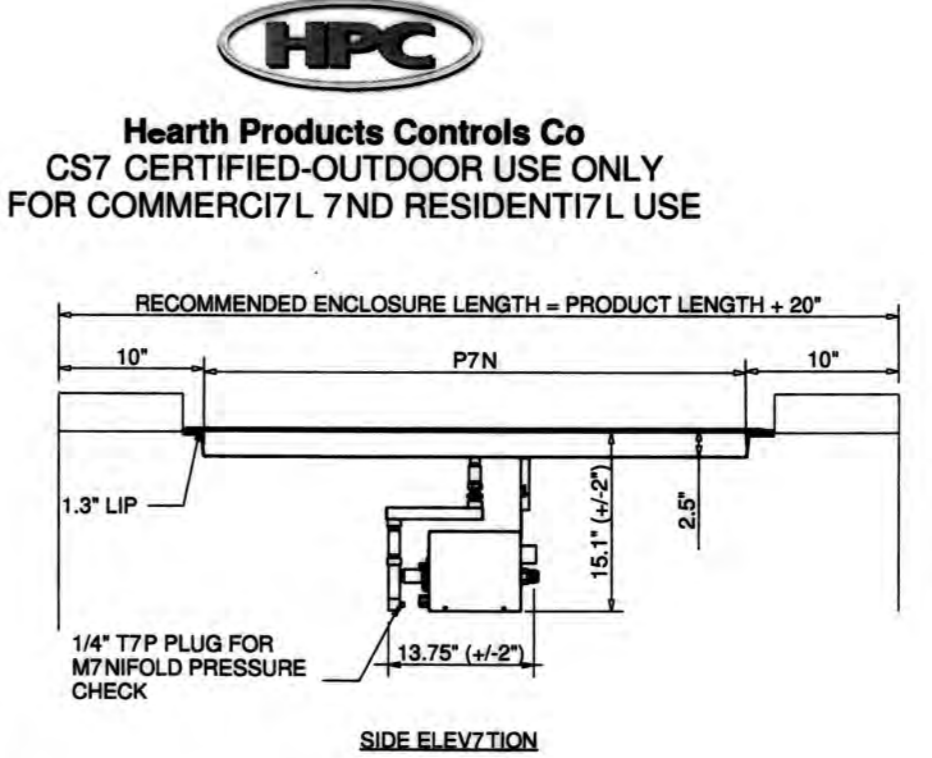
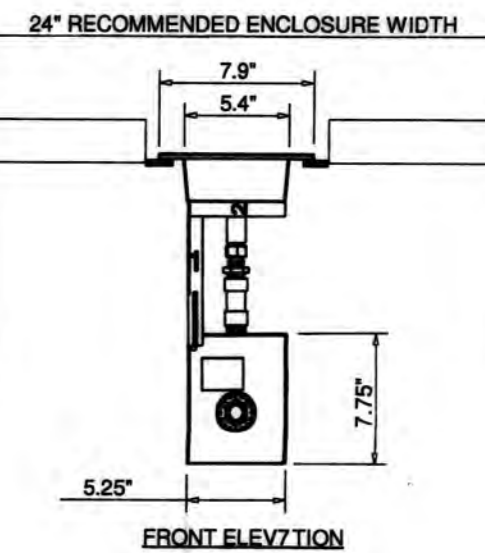
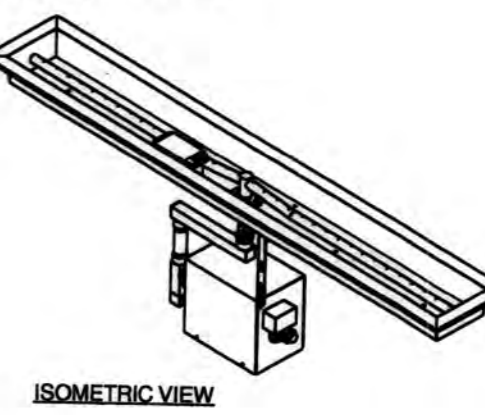
A1

FLOOR PLAN NOTES

- 1) Manufactured gas only fireplace
DaVinci Custom Fireplace by Trivie Industries
Linear One sided 36 in x 20 in (Black glass firebox)
INTERTEC Report # 100884872PRT-001
ANSI Z21.50-2014 / CSA 2.22-2014
- 2) Manufactured gas only fireplace
by Heat & Glo / True 36
(Black glass interior panels)
UL Listed MH 28669 / ANSI Z21.88-2017
- 3) Line of floor/balcony/sloft above.
- 4) Flat bar steel guardrail (42" High).
(see referenced details)
- 5) Kitchen sink with garbage disposal.
- 6) Dishwasher.
- 7) Refrigerator (36" wide).
- 8) Freezer (30" wide).
- 9) Gas cooktop/range (48" wide) with ventilation hood.
- 10) Electric wall oven/microwave (30" wide).
- 11) Island (36" High, 4 1/2 ft by 12 ft).
- 12) Upper cabinets (with LED lighting below at kitchen area).
- 13) Built-in full height storage cabinets.
- 14) Built-in bar cabinet with under counter refrigerator.
- 15) Built-in AV cabinet. 36" Gas range (30" wide).
- 16) Built-in refrigerator (36" wide).
- 17) Built-in shelves at pantry.
- 18) Island (36" High, 4 ft by 7 ft).
- 19) Closet shelf and pole.
- 20) Built-in closer cabinet.
- 21) Built-in cantilevered shelves.
- 22) Window seat.
- 23) Lavatory sink with cabinet.
- 24) Laundry sink.
- 25) Low profile ultra low flush toilet
(1.28 gal/flush max). Provide 30 inches
clear width and 24 inches clear at front.
- 26) Shower area to be porcelain tile, marble or granite
finish over lath and plaster to ceiling with tempered
glass enclosure.
- 27) Built-in seat at shower.
- 28) Cast iron or approved acrylic free standing tub.
- 29) Open to below.
- 30) Typical deck finish: Porcelain tile over
class A elastomeric weatherproofing system
(Slope 1/4" per foot min. and cricket to drains as
required). Use Dex-O-Tex (ICC Report ESR-1757)
or approved equal.
- 31) Deck drain and overflow scupper with concealed
piping to below (note: inlet flow line of scupper
to be located 2 inches above low point of deck).
- 32) Horizontal FAU located in attic
(see Title 24 Energy Compliance Report)
Requirements:
1. Double joists supporting the unit
2. Level Platform
3. Seismic sway braces or anchor unit to platform
4. 30" minimum access
5. Light, switch outlet
6. Condensate drain to an approved plumbing
fixture
- 33) Tankless gas water heater, NAVIEN NPS Series
Wall mounted direct vent
(see Title 24 Energy Compliance Report)
- 34) Vent dryer to outside air (14 ft maximum run
with (2) 90 degree elbows) with backdraft.
- 35) One hour protection of storage area under
stairs (see 5/8" insole type X gypsum board
finish at wall and ceiling).
- 36) 30" attic access panel at ceiling.
- 37) Hose bibb location (note: anti-siphon device).
- 38) Stone veneer over lath and plaster.
(see exterior elevations for specifications)
- 39) Cantilevered trellis above.
(See referenced details at exterior elevations).
- 40) Cantilevered roof element.
- 41) Cantilevered tempered glass guardrail (42" High).
(see referenced details)
- 42) Custom linear gas fire feature.
- 43) Concrete catch basin with sump pumps.
(See civil plans)
- 44) Built-in wine storage racking.
- 45) Manufactured exterior gas only fireplace
by NAPOLEON
Model Galaxy 6554-8 Outdoor Fireplace
INTERTEC Approved / ANSI Z21.91-2012
CSA 2.41-2012
- 46) VELLUX electric (VSE) operable skylight
Model 506 (44 3/4" x 46 1/4")
- 47) VELLUX electric (VSE) operable skylight
Model 501 (44 3/4" x 27 3/8")
- 48) Manufactured bioethanol burning fireplace
by NerZero, Forma 4055 / NZ40F
O-TL Certified Report 0417AFO055



HE7RTH PRODUCTS CONTROLS
3050 PL7 INFIELD RD.
KETERING, OH 45432
TOLL FREE: 1-877-433-7001
PHONE: (937) 433-7000
F7X: (937) 433-0704
www.hpctire.com



NOTE
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM
IS REQUIRED PER CRC SECTION R312.2

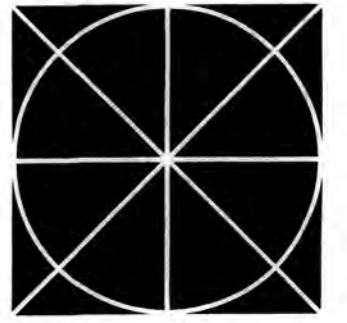
2ND FLOOR PLAN

- NOTES:
- 1) Use 2x6 minimum stud wall construction for all exterior walls.
 - 2) All exterior doors shall have a minimum 36 inch landing on each side of the door. Landings or floors at the required egress doors shall be not more than 1 1/2 inches lower than the top of the threshold.
 - 3) All hallways, closets, etc. to have 8'-0" minimum ceiling heights (unless noted otherwise).
 - 4) Penetrations through roof or exterior wall assemblies by ducts, pipes and/or other appurtenances shall be made water tight (CPC 312.8).

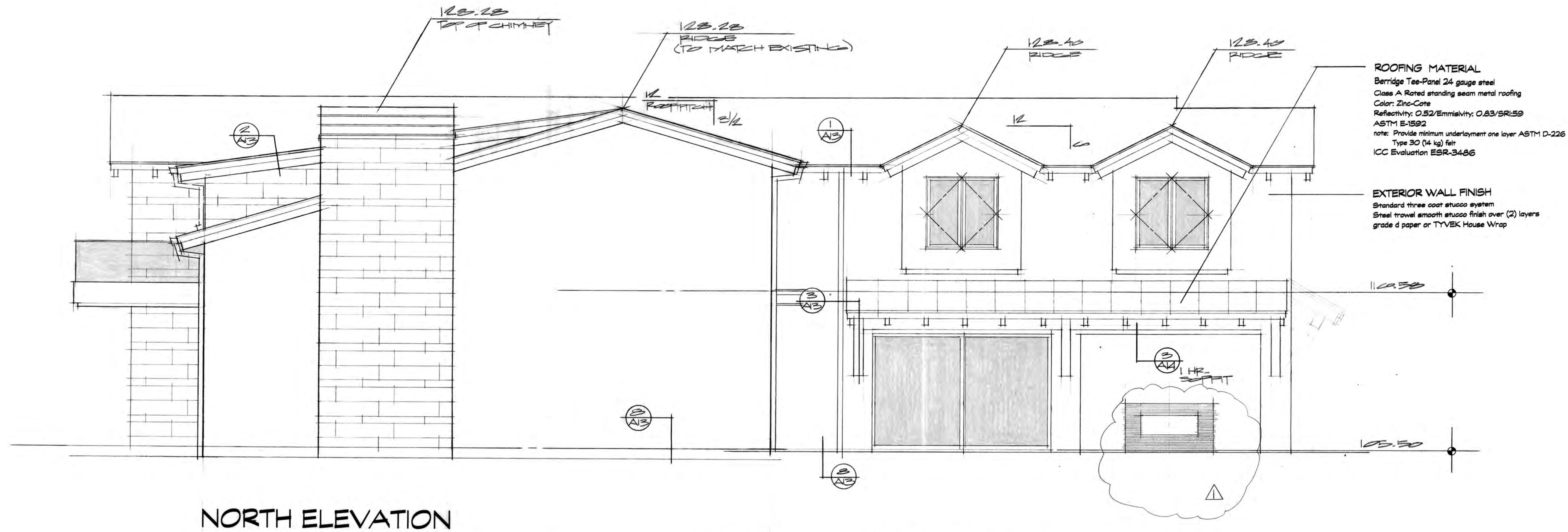
MILLER RESIDENCE
1636 Paseo Del Mar, Palos Verdes Estates, CA

JEFFREY A. DAHL
ARCHITECT

1102 Main Street
Huntington Beach, CA 92648
714-847-8480 • jeffreysdahl@verizon.net



date
7/13/2020
revisions
12/14/2020
1/9/2021
4/19/2021
drawing



NORTH ELEVATION

**PALOS VERDES ESTATES
ART JURY ELEVATION NOTES**

- 1) Mullins shall be an integral part of all windows and doors. (Snap-in / snap-out) mullins not allowed. Vinyl clad or aluminum clad windows and doors not permitted for divided light windows. Mullins may be no greater than 1 1/4 inch maximum on windows with insulated glass, since wood mullions must cover the gasket. The maximum size for single panes shall be no greater than 1 inch.
- 2) Sill horn at all windows to extend a maximum of 2 inches to a minimum of 1 1/2 inches.
- 3) Any deviation from approved window and door mullin light sizes **MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**
- 4) Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
- 5) Bring all plumbing vents within a radius of fifteen feet through the roof at one point, concealed from view where possible, to the satisfaction of the Building Inspector.
- 6) Submit all color samples, stucco or plaster finish, to the Palos Verdes Art Jury.
- 7) Submit roof material samples prior to purchase for review to the Palos Verdes Art Jury.
- 8) Exterior masonry, plaster and concrete block shall be painted.
- 9) Owner or authorized agent shall file for a framing inspection and a request for a Certificate of Completion with the Palos Verdes Homes Association.

STONE VENEER NOTE

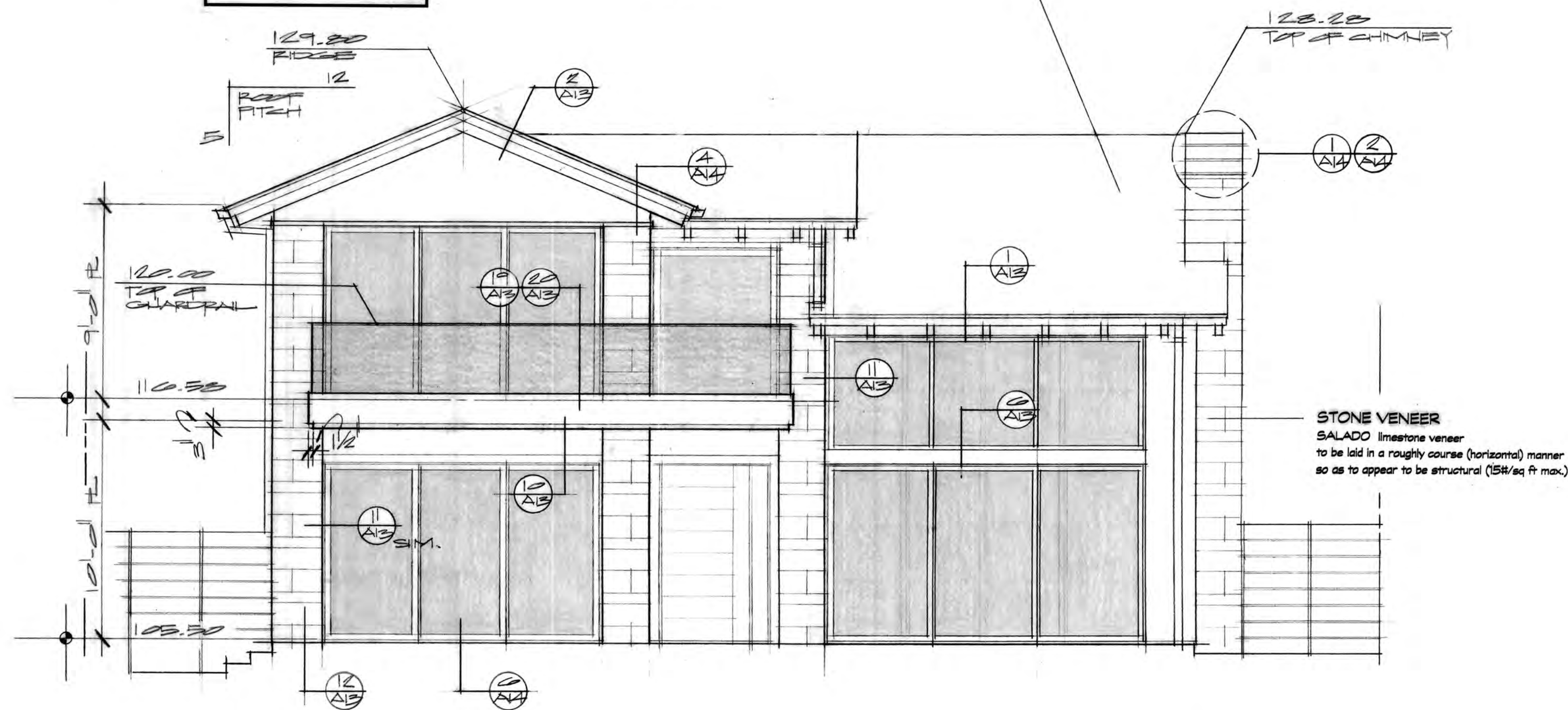
Stone veneer to be laid in a roughly coursed (horizontal) manner, so as to appear structural. All stone to be grouted flush. Grout to be natural in color or submit for approval. Prior to starting stone work, submit a photograph or sample for review. When installation is ready to start, provide a sample panel on the job and call for a site inspection.

NOTE: all ridge heights depicted on the plans are to the top of roofing material finish.

ROOFING MATERIAL
Class A rated flat clay tile by Santafe 888-305-TILE (8453)
color: Slate 8.5 lbs/sq ft
Miami-Dade County Approved #308-C109-06
Cool Roof Energy Star Certified Solar Reflectance 0.25 Emittance 0.86
note: provide minimum underlayment one layer ASTM D-226 Type 30 (14 kg) felt

ROOFING MATERIAL
Berridge Tee-Panel 24 gauge steel
Class A Rated standing seam metal roofing
Color: Zinc-Cote
Reflectivity: 0.52/Emittance: 0.83/SRI:59
ASTM E-1592
note: Provide minimum underlayment one layer ASTM D-226 Type 30 (14 kg) felt
ICC Evaluation ESR-3486

EXTERIOR WALL FINISH
Standard three coat stucco system
Steel trowel smooth stucco finish over (2) layers grade d paper or TYVEK House Wrap

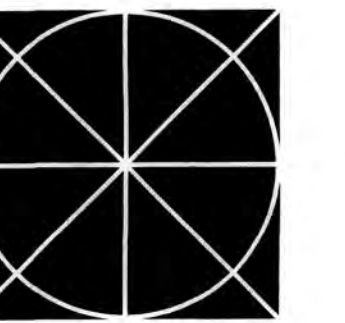


WEST ELEVATION

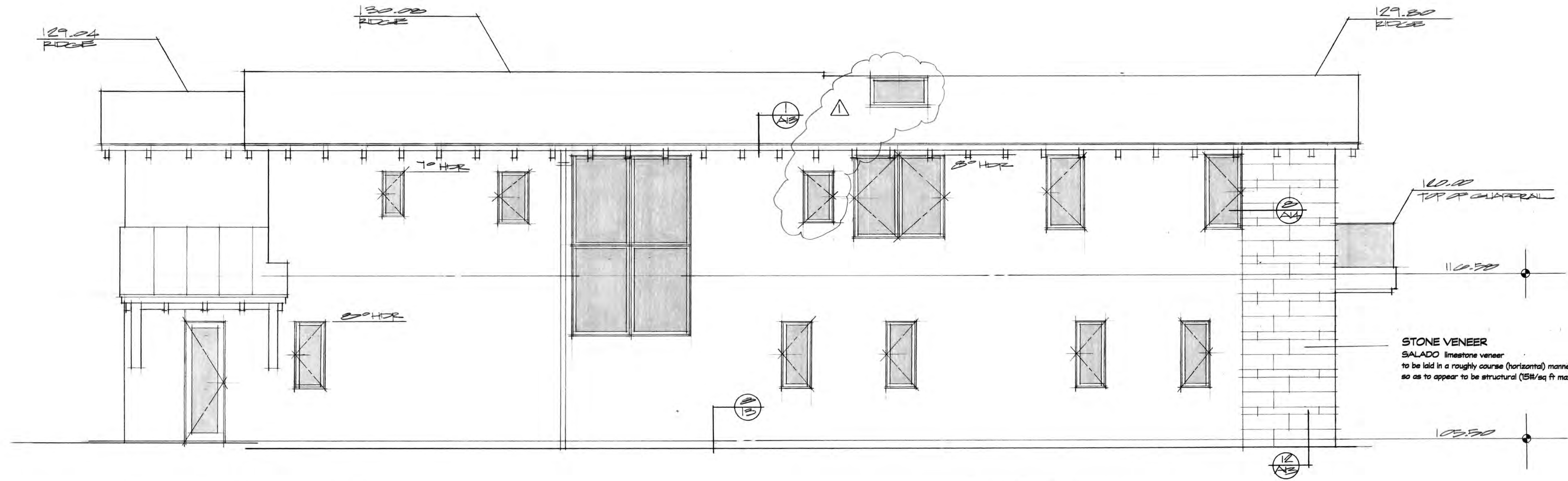
MILLER RESIDENCE
1636 Paseo Del Mar, Palos Verdes Estates, CA

JEFFREY A. DAHL
ARCHITECT

1102 Main Street
Huntington Beach, CA 92648
714-847-8480 • jeffreyadahl@verizon.net



date
9/16/2020
revisions
12/14/2020
1/9/2021
4/19/2021
drawing



SOUTH ELEVATION

**PALOS VERDES ESTATES
ART JURY ELEVATION NOTES**

- 1) Mullins shall be an integral part of all windows and doors. (Snap-in / snap-out) mullins not allowed. Vinyl clad or aluminum clad windows and doors not permitted for divided light windows. Mullins may be no greater than 1 1/4 inch maximum on windows with insulated glass, since wood mullions must cover the gasket. The maximum size for single panes shall be no greater than 1 inch.
- 2) Sill horn at all windows to extend a maximum of 2 inches to a minimum of 1 1/2 inches.
- 3) Any deviation from approved window and door mullin light sizes **MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**
- 4) Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
- 5) Bring all plumbing vents within a radius of fifteen feet through the roof at one point, concealed from view where possible, to the satisfaction of the Building Inspector.
- 6) Submit all color samples, stucco or plaster finish, to the Palos Verdes Art Jury.
- 7) Submit roof material samples prior to purchase for review to the Palos Verdes Art Jury.
- 8) Exterior masonry, plaster and concrete block shall be painted.
- 9) Owner or authorized agent shall file for a framing inspection and a request for a Certificate of Completion with the Palos Verdes Homes Association.

STONE VENEER NOTE

Stone veneer to be laid in a roughly coursed (horizontal) manner, so as to appear structural. All stone to be grouted flush. Grout to be natural in color or submit for approval. Prior to starting stone work, submit a photograph or sample for review. When installation is ready to start, provide a sample panel on the job and call for a site inspection.

STONE VENEER
SALADO limestone veneer to be laid in a roughly course (horizontal) manner so as to appear to be structural (15#/sq ft max.)

ROOFING MATERIAL
Class A rated flat clay tile by Santafe 888-305-TILE (8453)
color: Slate 8.5 lbs/sq ft
Miami-Dade County Approved #308-0709-06
Cool Roof Energy Star Certified Solar Reflectance 0.25 Emittance 0.86
note: provide minimum underlayment one layer ASTM D-226
Type 30 (14 kg) felt

NOTE: all ridge heights depicted on the plans are to the top of roofing material finish.

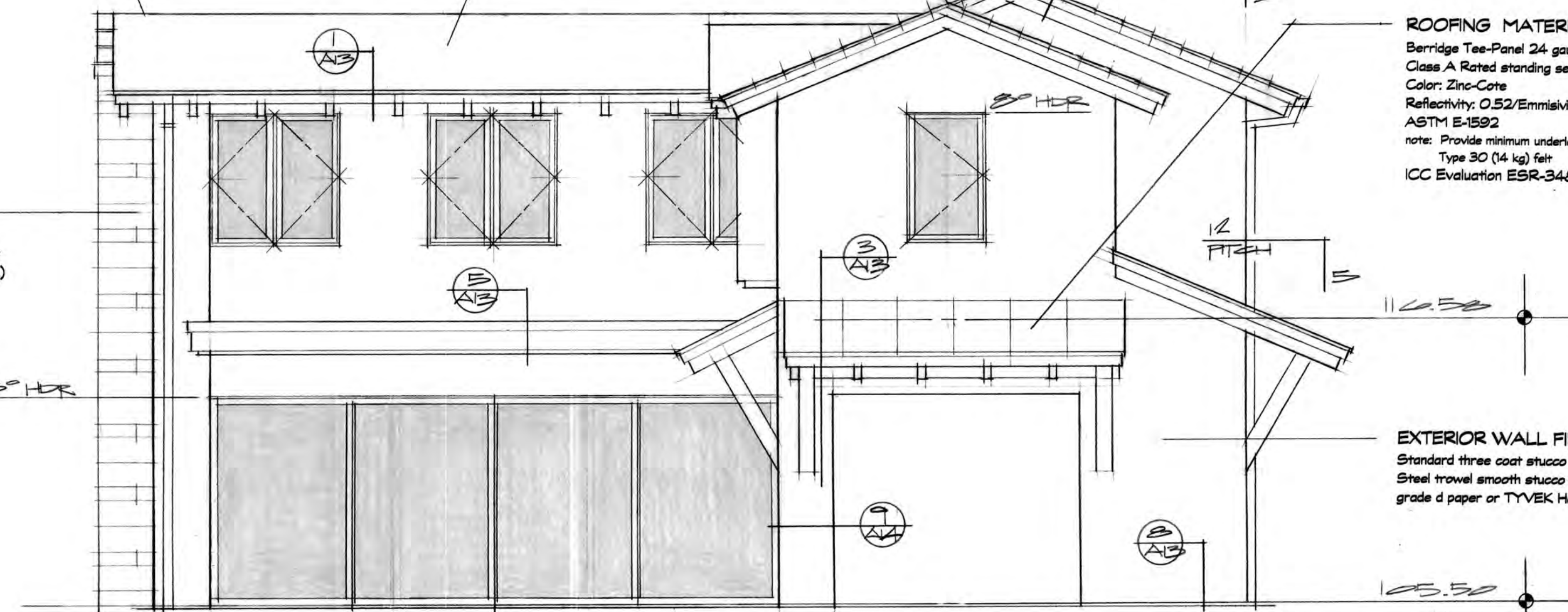
128.28
TOP OF CHIMNEY

130.08
RIDGE
129.04
RIDGE

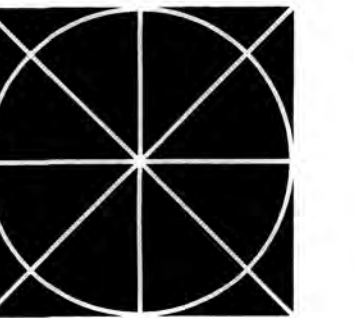
12
FT
FITZ

ROOFING MATERIAL
Berridge Tee-Panel 24 gauge steel
Class A Rated standing seam metal roofing
Color: Zinc-Cote
Reflectivity: 0.52/Emmissivity: 0.83/SR:59
ASTM E-1592
note: Provide minimum underlayment one layer ASTM D-226
Type 30 (14 kg) felt
ICC Evaluation ESR-3486

EXTERIOR WALL FINISH
Standard three coat stucco system
Steel trowel smooth stucco finish over (2) layers grade d paper or TYVEK House Wrap



EAST ELEVATION



date

9/12/2020

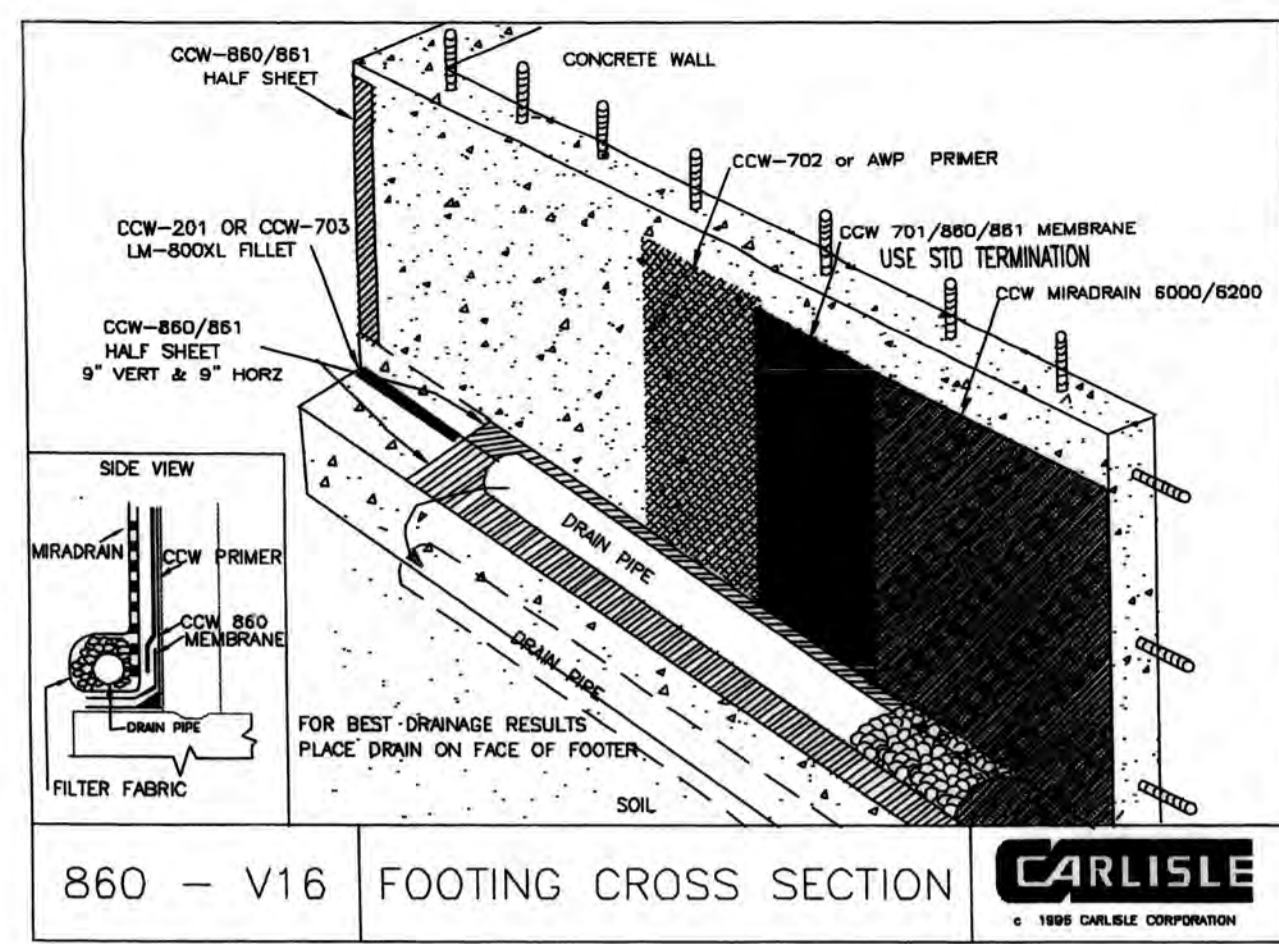
revisions

12/14/2020

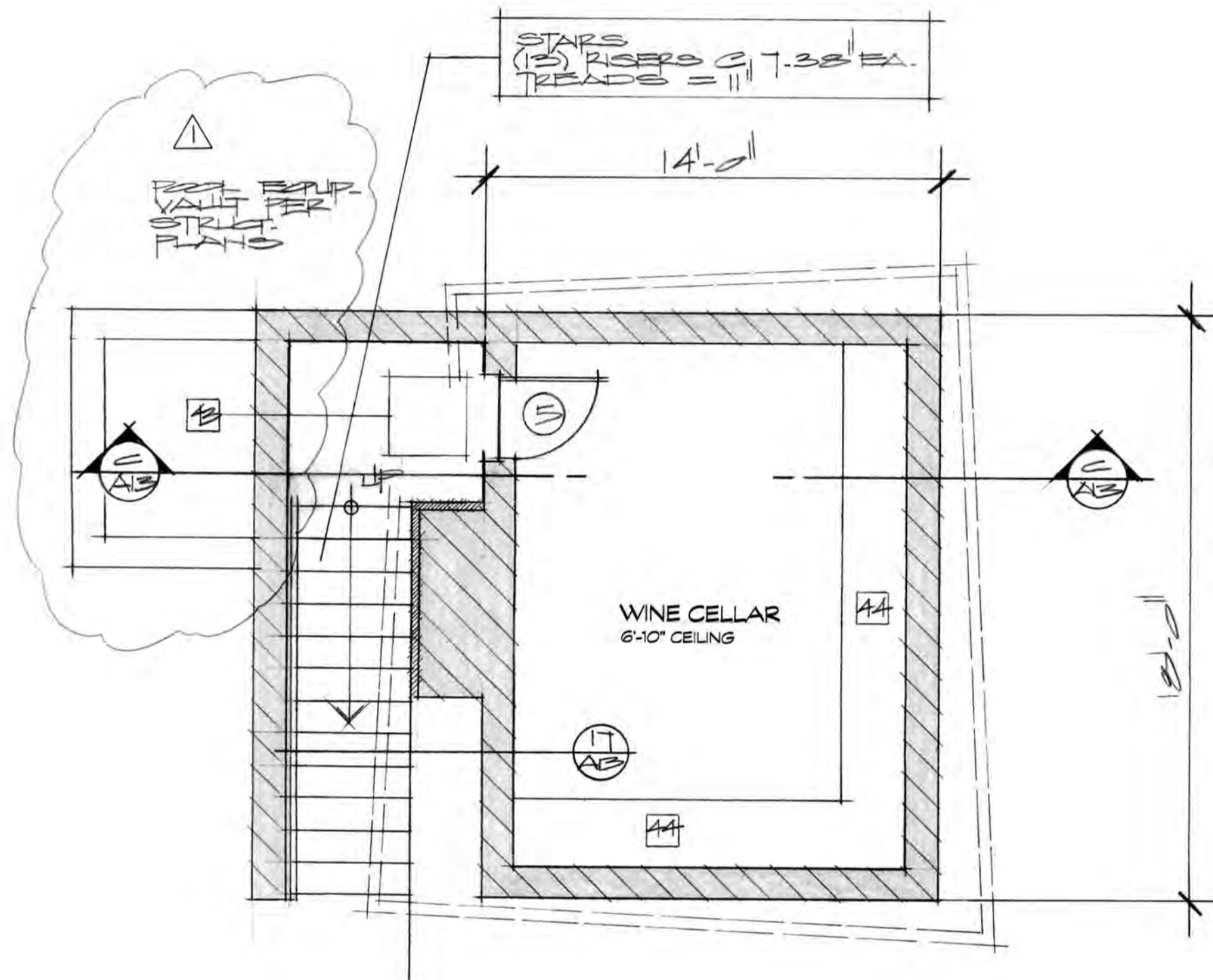
1/9/2021

4/19/2021

drawing



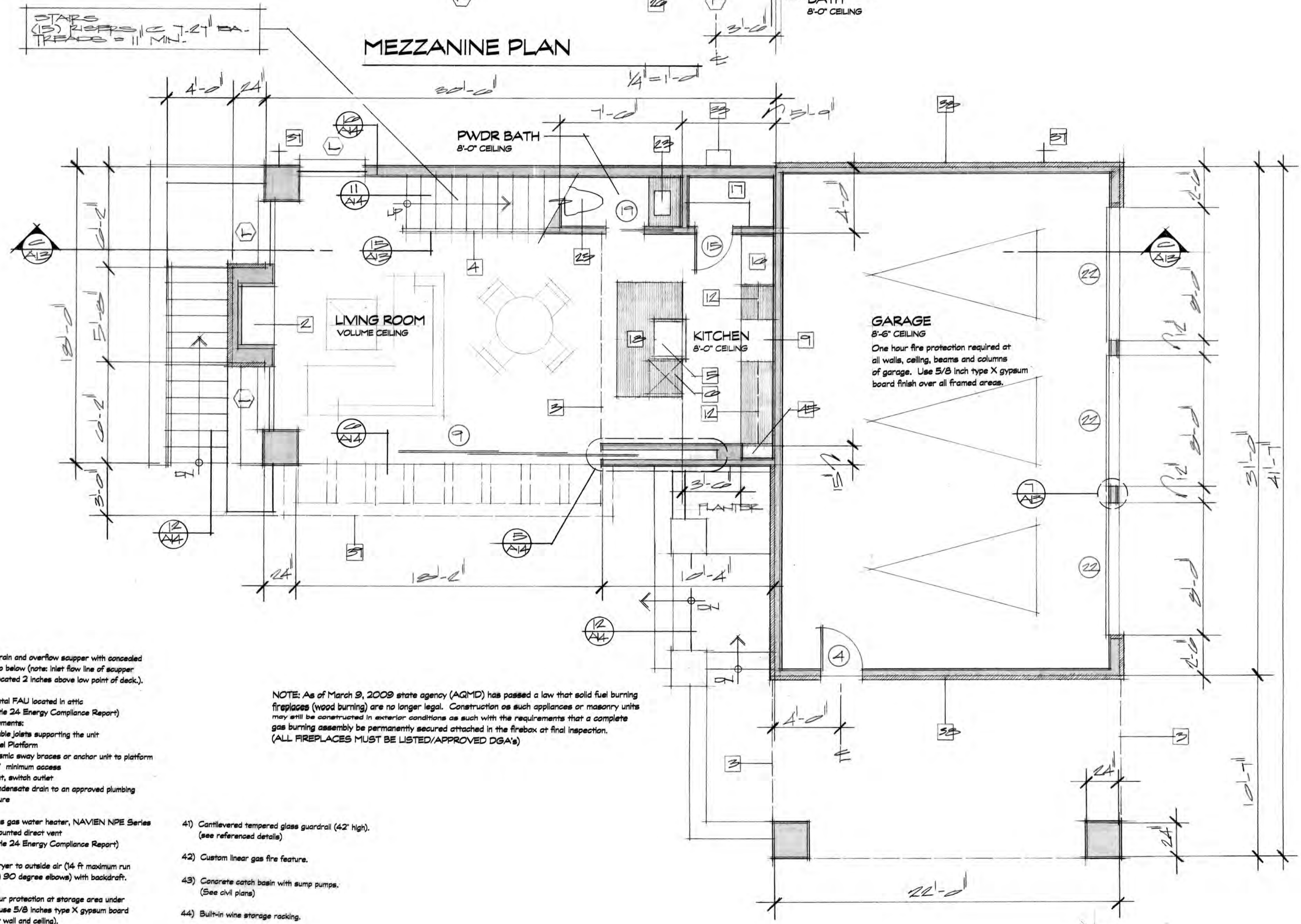
- TYPICAL RETAINING WALL WATERPROOFING**
1. Use Miradri 860 membrane waterproofing system as manufactured by Carlisle Coatings and Waterproofing or approved equal. (LA Research Report No. 25094L)
 2. Install perforated pipe per structural plans. (Drain to daylight)



BASEMENT PLAN

FLOOR PLAN NOTES

- 1) Manufactured gas only fireplace by Heat & Glo / True 36 (Black glass interior panels) UL Listed MH 28669 / ANSI Z21.68-2017
- 2) Manufactured gas only fireplace by Heat & Glo / True 36 (Black glass interior panels) UL Listed MH 28669 / ANSI Z21.68-2017
- 3) Line of floor/balcony/soffit above.
- 4) Flat bar steel guardrail (42" high). (see referenced details)
- 5) Kitchen sink with garbage disposal.
- 6) Dishwasher.
- 7) Refrigerator (36" wide).
- 8) Freezer (30" wide).
- 9) Gas cooktop/range (48" wide) with ventilation hood.
- 10) Electric wall oven/microwave (30" wide).
- 11) Island (36" high, 4 1/2 ft by 12 ft).
- 12) Upper cabinets with LED lighting below at kitchen area.
- 13) Built-in full height storage cabinets.
- 14) Built-in bar cabinet with under counter refrigerator.
- 15) Built-in AV cabinet. 36" Gas range (30" wide).
- 16) Built-in refrigerator (36" wide).
- 17) Built-in shelves at pantry.
- 18) Island (36" high, 4 ft by 7 ft).
- 19) Closet shelf and pole.
- 20) Built-in closet cabinet.
- 21) Built-in cantilevered shelves.
- 22) Window seat.
- 23) Lavatory sink with cabinet.
- 24) Laundry sink.
- 25) Low profile ultra low flush toilet (1.28 gal/flush max). Provide 30 inches clear width and 24 inches clear at front.
- 26) Shower area to be porcelain tile, marble or granite finish over lath and plaster to ceiling with tempered glass enclosure.
- 27) Built-in seat at shower.
- 28) Cast iron or approved acrylic free standing tub.
- 29) Open to below.
- 30) Typical deck finish: Porcelain tile over class A elastomeric waterproofing system (Slope 1/4" per foot min. and cricket to drains as required). Use Dex-O-Tex (ICC Report ESR-1757) or approved equal.
- 31) Deck drain and overflow scupper with concealed piping to below (note: inlet flow line of scupper to be located 2 inches above low point of deck).
- 32) Horizontal FAU located in attic (see Title 24 Energy Compliance Report) Requirements: 1. Double joists supporting the unit 2. Level Platform 3. Seismic away braces or anchor unit to platform 4. 30" minimum access 5. Light switch outlet 6. Condensate drain to an approved plumbing fixture
- 33) Tankless gas water heater, NAVEN NPE Series Wall mounted direct vent (see Title 24 Energy Compliance Report)
- 34) Vent dryer to outside air (14 ft maximum run with (2) 90 degree elbows) with backdraft.
- 35) One hour protection at storage area under stairs (use 5/8 inch type X gypsum board finish at wall and ceiling).
- 36) 30" attic access panel at ceiling.
- 37) Hose bibb location (note: anti-siphon device).
- 38) Stone veneer over lath and plaster. (see exterior elevations for specifications)
- 39) Cantilevered trellis above. (See referenced details at exterior elevations).
- 40) Cantilevered roof element.



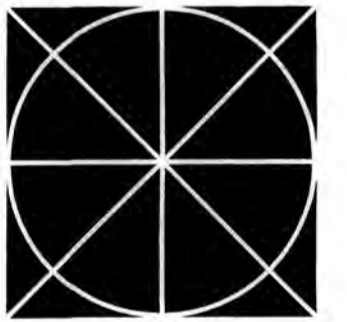
GARAGE/ADU FLOOR PLAN

NOTE
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED PER CRC SECTION R313.2

- NOTES:**
- 1) Use 2x6 minimum stud wall construction for all exterior walls.
 - 2) All exterior doors shall have a minimum 36 inch landing on each side of the door. Landings or floors at the required egress doors shall be not more than 1 1/2 inches lower than the top of the threshold.
 - 3) All hallways, closets, etc. to have 8'-0" minimum ceiling heights (unless noted otherwise).
 - 4) Penetrations through roof or exterior wall assemblies by ducts, pipes and/or other appurtenances shall be made water tight (CPC 312.B).

JEFFREY A. DAHL
ARCHITECT

1102 Main Street
Huntington Beach, CA 92648
714-847-8480 • jeffreyadahl@verizon.net



date	9/18/2020
revisions	12/14/2020
	1/9/2021
	4/19/2021
drawing	

