

FIRE FLOW CALCULATIONS:

BUILDING CODE CONSTRUCTION TYPE	TYPE V-B
V-FPSZ?	YES
SPRINKLERED?	YES
(S) LOT SIZE (ACRES)	LESS THAN 1 ACRE
FIRE FLOW BASED ON FIRE FLOW CALC AREA	1,250 GPM
TOTAL FIRE FLOW REQUIRED	1,250 GPM
FIRE FLOW PROVIDED:	5,602 GPM

BUILDING DATA:

SINGLE FAMILY RESIDENCE - NEW TWO STORY DWELLING UNIT WITH BASEMENT
TYPE V-B CONSTRUCTION
R-3.1 OCCUPANCY
BUILDING HEIGHT = LESS THAN 30'
FUEL MOD REQUIRED
SPRINKLERS REQUIRED

FIRE AREA CALCULATIONS:

EXISTING FLOOR AREA	0 sq.ft.
EXISTING GARAGE	0 sq.ft.
TOTAL EXISTING FIRE AREA	0 sq.ft.
ADDED BASEMENT	1,010 sq.ft.
ADDED LOWER LEVEL	1,956 sq.ft.
ADDED UPPER LEVEL	1,785 sq.ft.
ADDED GARAGE	964 sq.ft.
ADDED COVERED PATIO	163 sq.ft.
TOTAL ADDED FIRE AREA	5,878 sq.ft.
PROPOSED BASEMENT	1,010 sq.ft.
PROPOSED LOWER LEVEL	1,956 sq.ft.
PROPOSED UPPER LEVEL	1,785 sq.ft.
PROPOSED GARAGE	964 sq.ft.
PROPOSED COVERED PATIO	163 sq.ft.
TOTAL FIRE AREA	5,878 sq.ft.

REQUIRED PLAN CHECK INFORMATION

THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION

OWNER/APPLICANT: Peter & Maya Navarra
PROJECT ADDRESS: 2824 Victoria Place
LEGAL DESCRIPTION: LOT 14 BLOCK 2450 TRACT 7332
APPLICANT'S AGENT: Pritzkat & Johnson Architects, Inc.
EMAIL: keith@pjainc.com

PHONE: 310.809.5901
TRACT: 7332
PHONE: 310.375.7700
DATE: 06.21.21

LOT SIZE: 17,838 square feet

ALLOWABLE FLOOR AREA: 7,101 equals the smaller of 30% (lot size) + 1750 or 50% (lot size)

EXISTING LOT COVERAGE:

0 sq. ft.	0.00 %	BUILDING
0 sq. ft.	0.00 %	HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)
0 sq. ft.	0.00 %	TOTAL

PROPOSED LOT COVERAGE: (include only added lot coverage)

3,213 sq. ft.	18.01 %	BUILDING
4,835 sq. ft.	27.11 %	HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)
8,048 sq. ft.	45.12 %	TOTAL

TOTAL LOT COVERAGE: (sum of existing and proposed)

3,213 sq. ft.	18.01 %	BUILDING
4,835 sq. ft.	27.11 %	HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)
8,048 sq. ft.	45.12 %	TOTAL

EXISTING FLOOR AREA:

0 sq. ft.	0 sq. ft.	MEZZANINE
0 sq. ft.	0 sq. ft.	MAIN LEVEL
0 sq. ft.	0 sq. ft.	UPPER LEVEL
0 sq. ft.	0 sq. ft.	TOTAL

NEW FLOOR AREA: (include only added floor area)

2,143 sq. ft.	0 sq. ft.	MEZZANINE
1,956 sq. ft.	964 sq. ft.	GARAGE
1,785 sq. ft.	6,848 sq. ft.	TOTAL

TOTAL FLOOR AREA: (sum of existing and proposed)

2,143 sq. ft.	0 sq. ft.	MEZZANINE
1,956 sq. ft.	964 sq. ft.	GARAGE
1,785 sq. ft.	6,848 sq. ft.	TOTAL

GRADING INFORMATION:

PREVIOUS GRADING: (Any movement of earth on this site prior to this application)

CUT	0	cubic yards
FILL	0	cubic yards
TOTAL	0	cubic yards

PROPOSED GRADING: (Movement of earth required for this project)

CUT	677	cubic yards
FILL	112	cubic yards
OVEREXCAVATION	10	cubic yards
RECOMPACTMENT	30	cubic yards
TOTAL	829	cubic yards

LEGEND

- RESEALED EXISTING / NATURAL CONTOURS
- EXISTING / NEW GRADE
- BASEMENT OUTLINE
- MAIN LEVEL FOOTPRINT
- 2ND STORY OUTLINE/CANT.
- ROOF PLAN OUTLINE
- NEW HARDSCAPE

UTILITY NOTES:
UNDERGROUND UTILITY LOCATIONS SHOWN FOR CONCEPT ONLY, ACTUAL LOCATIONS TO BE DETERMINED WITH CONTRACTOR

DRAINAGE NOTES:
DRAINAGE SHOWN FOR CONCEPT ONLY, CIVIL ENGINEER TO PROVIDE PLAN FOR PLAN CHECK

NOTE:
HARDSCAPE ON THIS SHEET FOR CONCEPTUAL PURPOSES ONLY
LANDSCAPE & HARDSCAPE PLANS BY OTHERS.

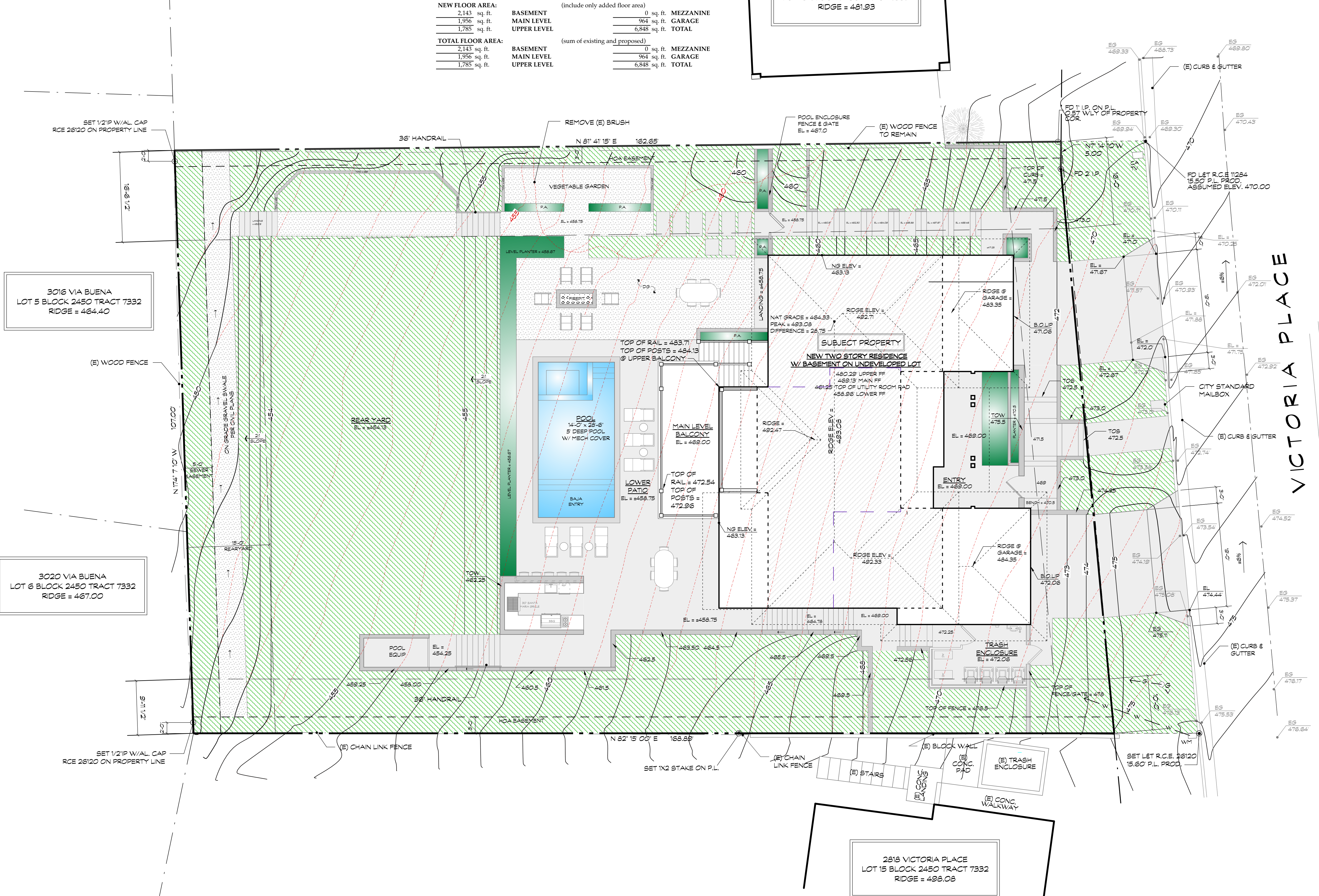
PV HOMES ASSOC. SETBACK CALCULATIONS

REAR PROPERTY WIDTH	TOTAL LENGTH = 107.00	FRONT PROPERTY WIDTH	TOTAL LENGTH = 108.98
10' - 50' = 57.00		108.98 - 50' = 58.98	
57' / 10' = 5.7		58.98 / 10' = 5.9	
5.7 + 5.7' = 11.4'		5.9 + 5.9' = 11.8'	
28'-6" REAR SIDE YARD REQD		27'-0" FRONT SIDE YARD REQD	
MIN 1/3 = 8'-10"		MIN 1/3 = 9'-0"	
2.9 = 17'-0"		2.9 = 16'-0"	

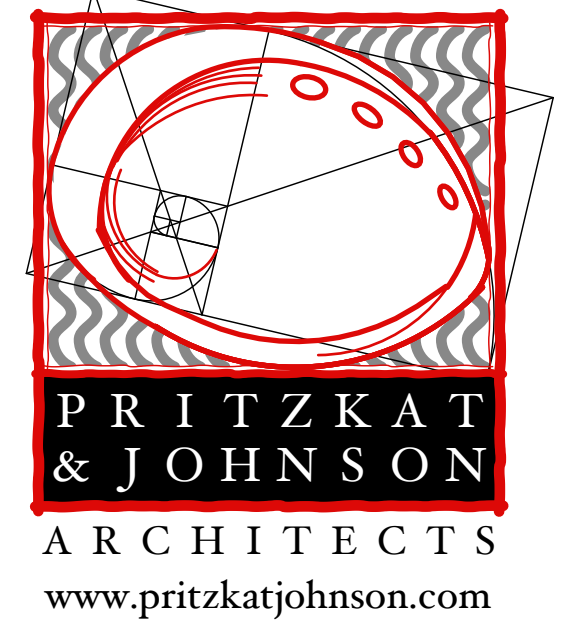
2830 VICTORIA PLACE
LOT 13 BLOCK 2450 TRACT 7332
RIDGE = 481.93

SIGNATURES FOR MINOR MODIFICATION

Name	Signature	Date	Phone
2830 Victoria Place			
2818 Victoria Place			



PLOT PLAN
SCALE: 1/8" = 1'-0"



MILES E. PRITZKAT
ARCHITECT
KEITH B. JOHNSON
ARCHITECT
306 VISTA DEL MAR, SUITE A
REDONDO BEACH,
CALIFORNIA 90277
310.375.7700
info@pjainc.com

NEW RESIDENCE FOR:
PETER & MAYA NAVARRA
2824 Victoria Place
Palos Verdes Estates
California 90274

PERMIT SET:
05.05.21

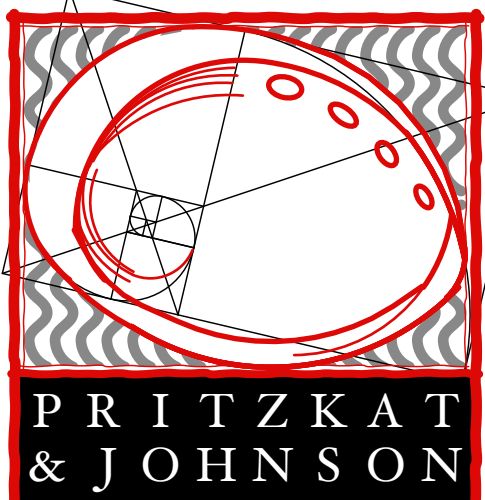
REVISED:
06.09.21

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REVISIONS

No.	Date	DESCRIPTION
1	06.09.21	ADDED BASE AREA

A.I.a



PRITZKAT & JOHNSON
ARCHITECTS
www.pritzkatjohnson.com

MILES E. PRITZKAT
ARCHITECT
KEITH B. JOHNSON
ARCHITECT

306 VISTA DEL MAR, SUITE A
REDONDO BEACH,
CALIFORNIA 90277

TEL: 310-375-7700
FAX: 310-375-4375

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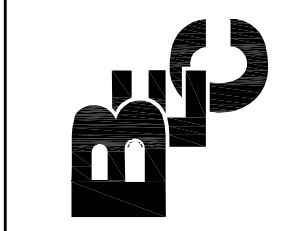
REVISIONS

No.	Date	DESCRIPTION

A.tb

Revisions	By

Bolton Engineering Corp.
Civil Engineering and Surveying
26894 Narbonne Avenue Suite 210
Lomita, Ca. 90717
Ph: 310-325-5580 Fax: 310-325-5581



TITLE: TOPOGRAPHIC SURVEY
2824 VICTORIA PLACE
PALOS VERDES ESTATES
Date: JULY 5, 2017
Scale: 1"=10'
Drawn: IAZ
Checked: DJB
Job No. 17136
Sheet
1
Of 1 Sheets

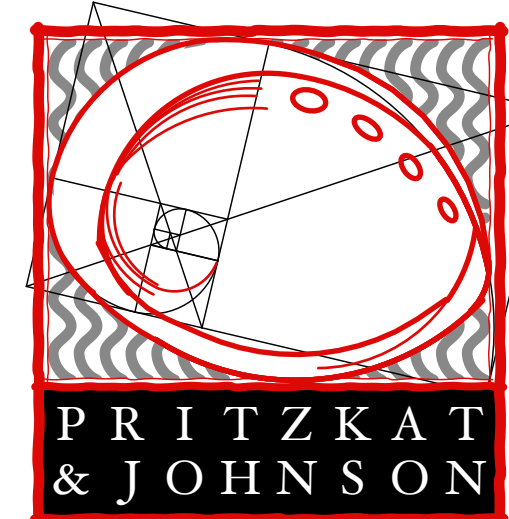
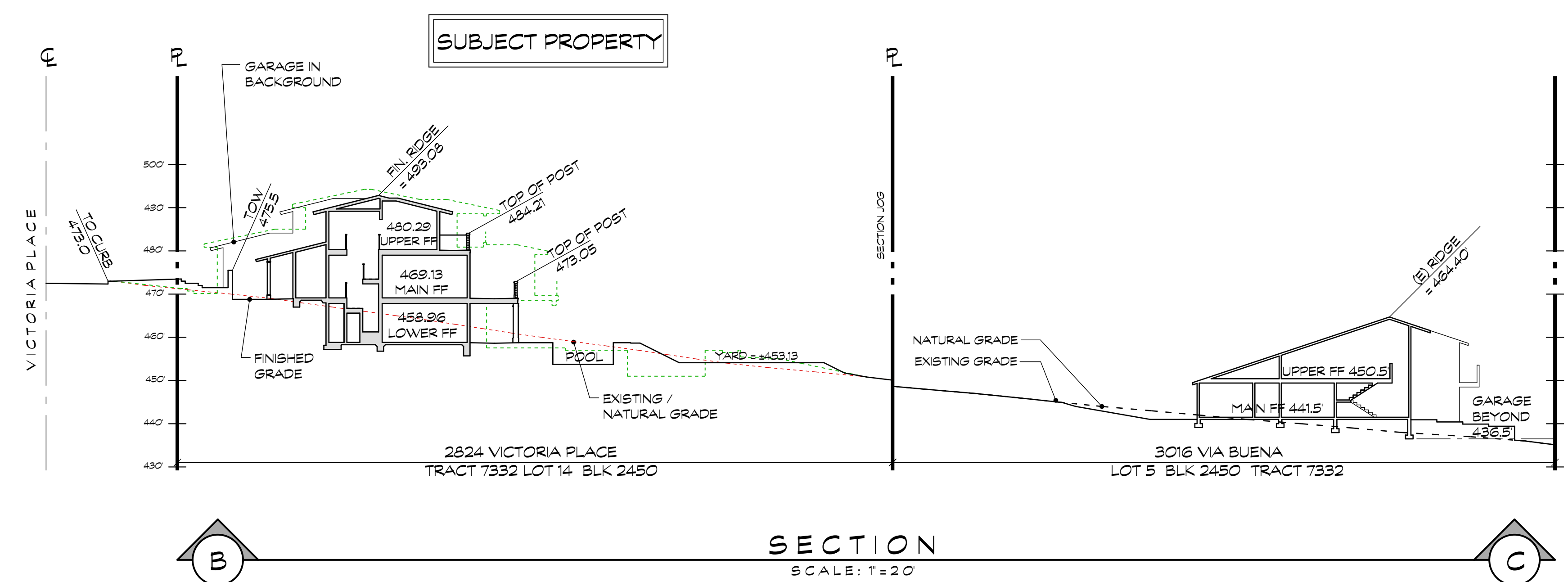
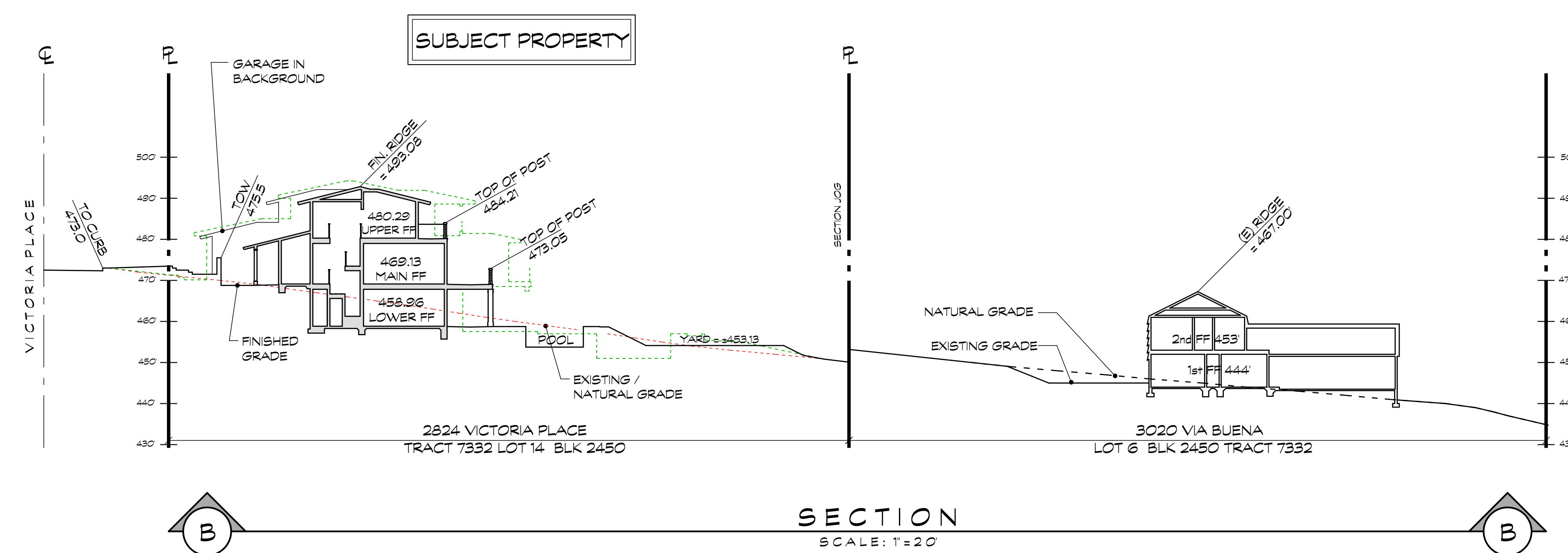
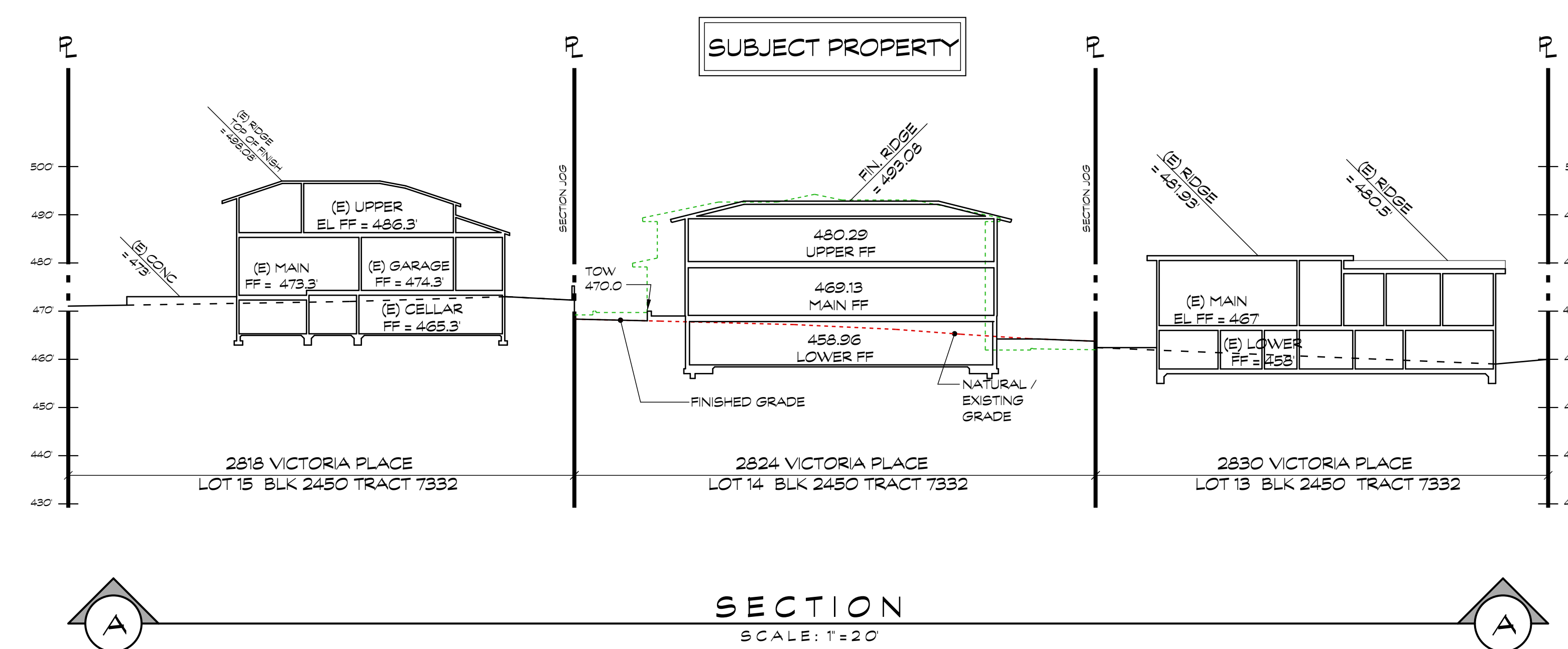
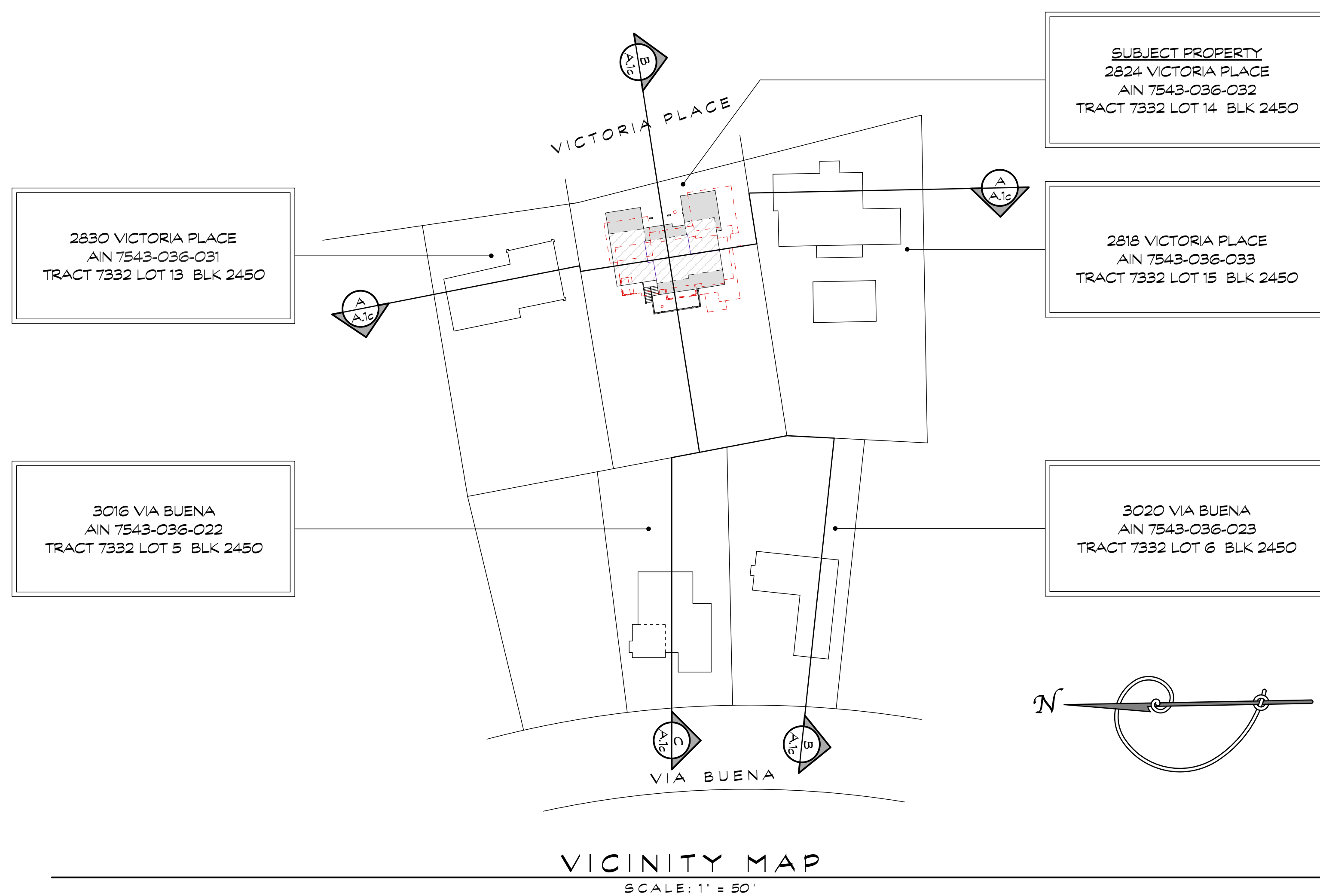
Benchmark
FOUND LEAD & TACK TAGGED R.C.E 11284 IN TOP CURB
AT A 15.50' PROD OF NORTH EAST PROPERTY CORNER.
ASSUMED ELEV. 470.00

Basis Of Bearings
THE BASIS OF BEARINGS FOR THIS SURVEY, North 7° 14' 10" West
BEING THE CENTERLINE OF PASEO LUNADO, PER TRACT NO. 7332
IN THE CITY OF PALOS VERDES ESTATES, CALIFORNIA.

Property Description
ADDRESS: 2824 VICTORIA PLACE PALOS VERDES ESTATES, CA
ASSESSOR'S PARCEL NO: 7543-036-032
LEGAL DESCRIPTION: LOT 14, BLOCK 2450, TRACT No.7332,
MAP BOOK 102, PAGES 42-45

Legend
CLF CHAIN LINK FENCE
WDF WOOD FENCE
CL CENTER LINE
CATV CABLE TV
GV GAS VALVE COVER
PL PROPERTY LINE
WM WATER METER
+ 102.56 SPOT ELEVATION
- WDF-CLF
FREE STANDING WALL





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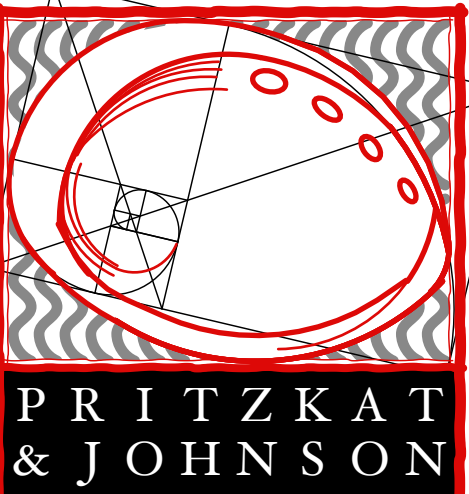
NEW RESIDENCE FOR:
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Palos Verdes Estates California 90274
2824 Victoria Place

PERMIT SET:
05.05.21
REVISED:
06.09.21

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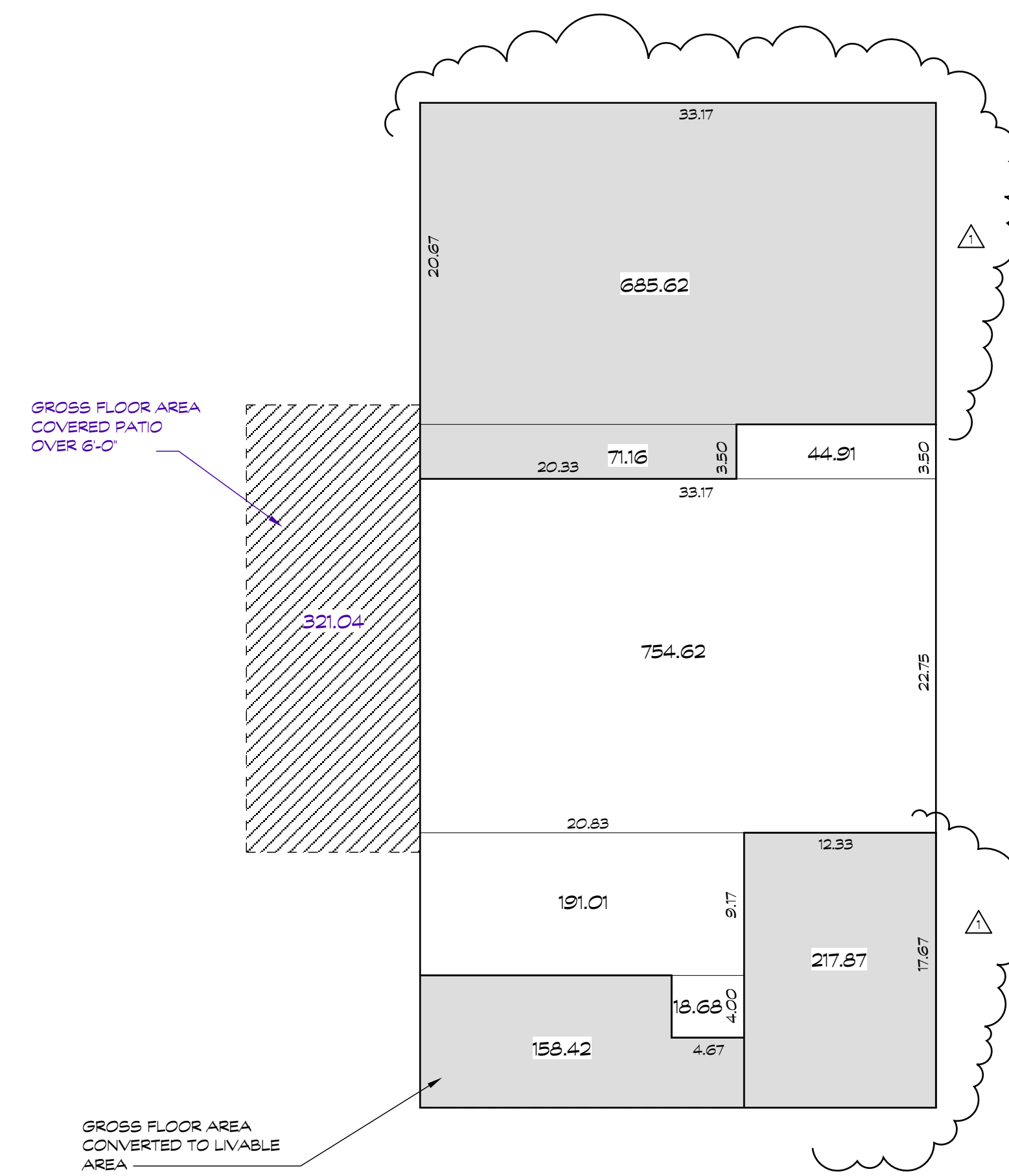
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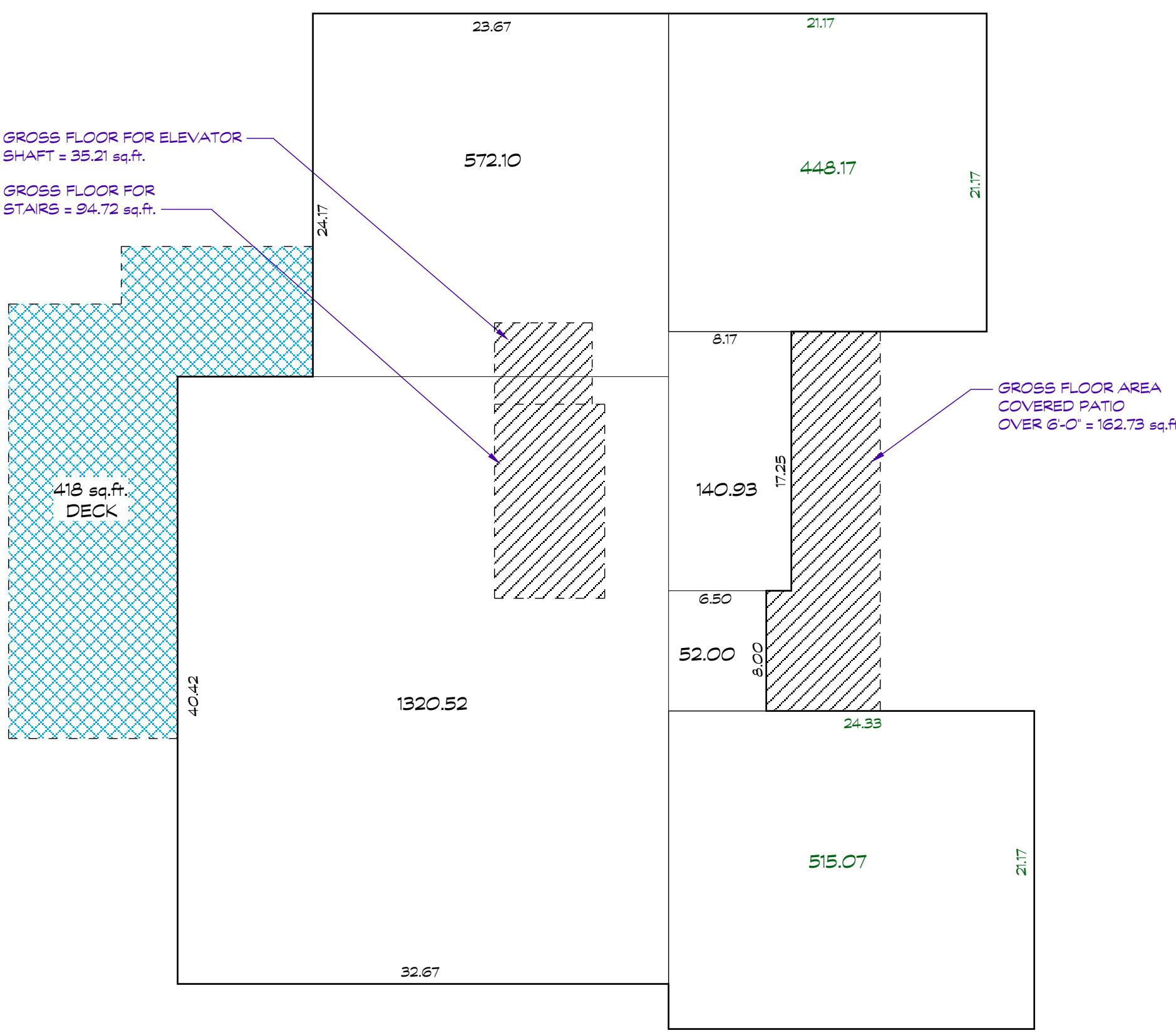
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1	06.09.21	ADDED BASE AREA

A.id



BASEMENT LEVEL
SCALE: 1/8" = 1'-0"

GROSS FLOOR AREA BASEMENT LEVEL	GROSS FLOOR AREA BASEMENT LEVEL
321.04	321.04
159.42	
178.66	
1009.23	
	BASEMENT LEVEL FLOOR AREA
	685.62
	217.87
	71.16
	158.42
	44.91
	754.62
	191.01
	187.01
	18.68
	217.87
	15.68
	<u>2142.29</u>



MAIN LEVEL
SCALE: 1/8" = 1'-0"

GROSS FLOOR AREA MAIN LEVEL
35.21
94.72
162.73
<u>292.66</u>
GARAGE AREA
448.17
518.07
<u>966.24</u>
MAIN LEVEL FLOOR AREA
572.10
140.93
52.00
1320.52
2085.55 sub total
-35.21
-94.72 less interior gross
<u>1955.62</u>

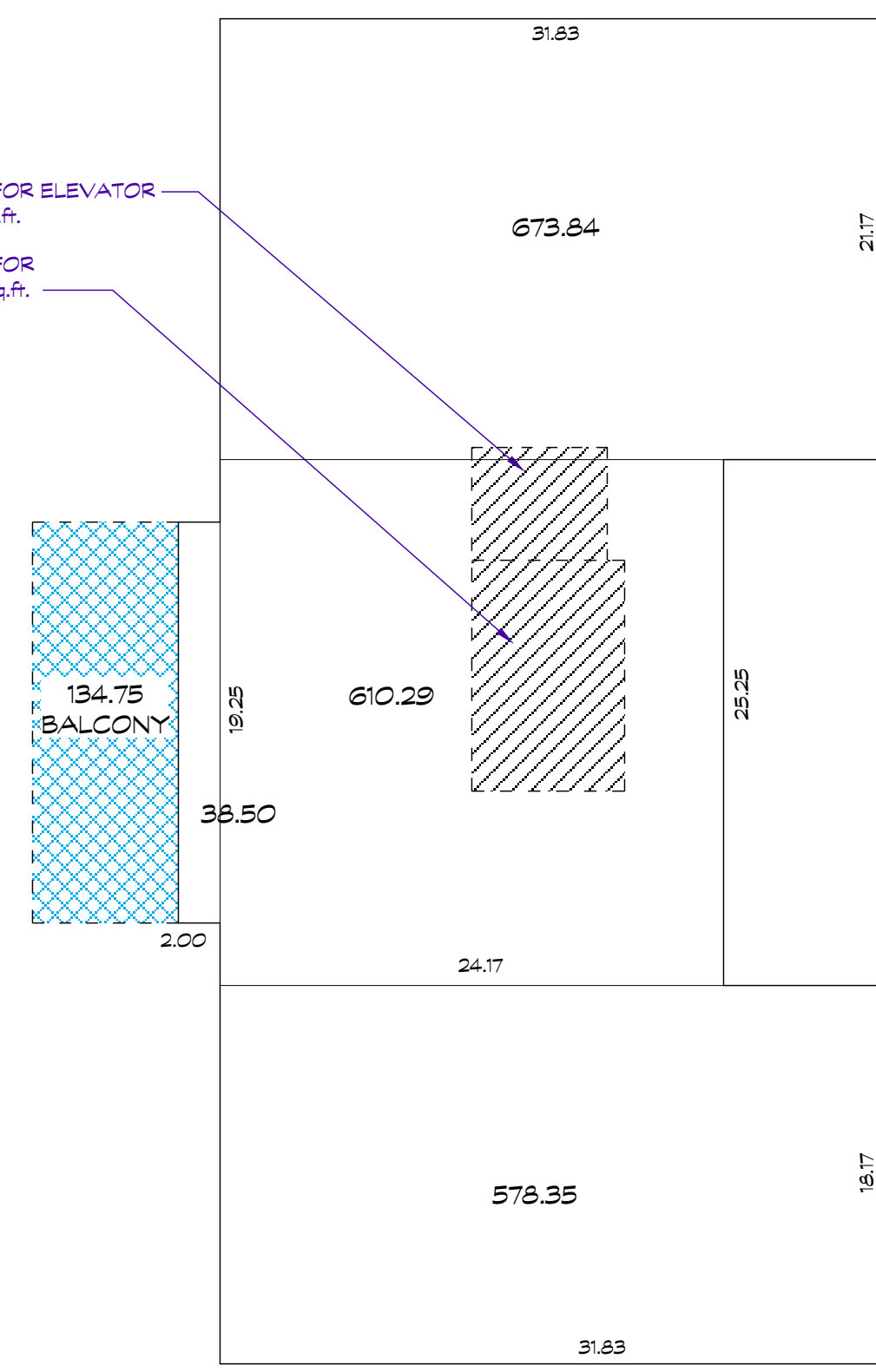
GROSS FLOOR FOR ELEVATOR SHAFT = 35.21 sq. ft.
GROSS FLOOR FOR STAIRS = 94.72 sq. ft.

GROSS FLOOR AREA COVERED PATIO OVER 6'-0" = 162.73 sq. ft.

448.17
518.07
966.24

572.10
140.93
52.00
1320.52

2085.55 sub total
-35.21
-94.72 less interior gross
1955.62



UPPER LEVEL
SCALE: 1/8" = 1'-0"

GROSS FLOOR AREA UPPER LEVEL

UPPER LEVEL FLOOR AREA

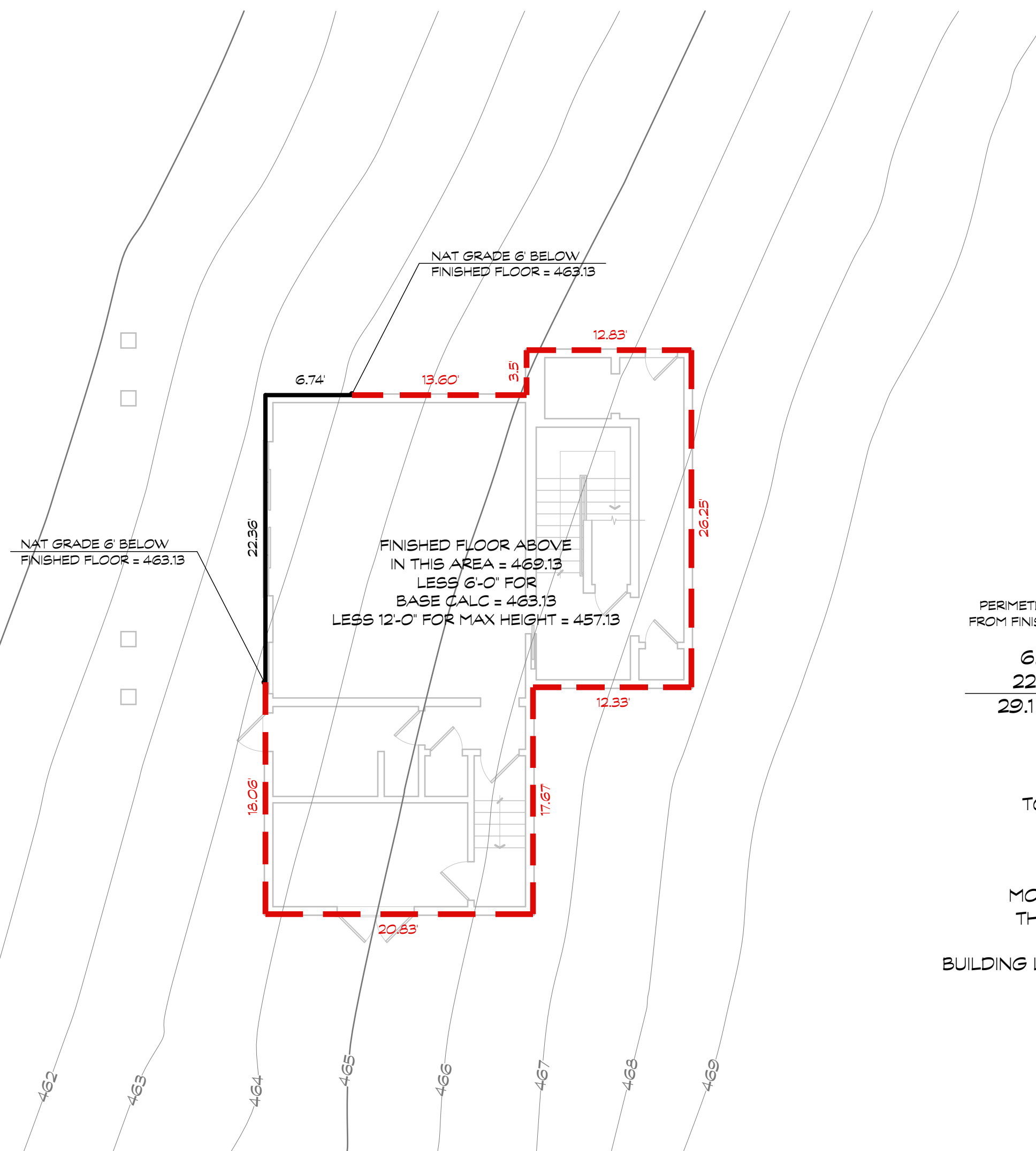
673.84
610.29
38.50
578.35
1900.98 sub total
-35.21
-81.28 less interior gross
<u>1784.49</u>

GROSS FLOOR FOR ELEVATOR SHAFT = 35.21 sq. ft.
GROSS FLOOR FOR STAIRS = 94.72 sq. ft.

COVERED PATIO WITH A ROOF NOW CONSIDERED COVERAGE = 162.73 sq. ft.

GARAGE AREA = 964
MAIN LEVEL AREA = 1956
GROSS FLOOR AREAS = 190
ATTACHED COVERED PATIOS W/ ROOFS NOW INCLUDED IN BUILDING COVERAGE = 163
BUILDING COVERAGE = 3,213

ADDITIONAL FOOTPRINT / BUILDING COVERAGE
SCALE: 1/8" = 1'-0"



BASEMENT CALCULATION
SCALE: 1/8" = 1'-0"

PERIMETER OVER 6' FROM FINISHED FLOOR	PERIMETER LESS THAN 6' FROM FINISHED FLOOR
6.74	13.6
22.36	3.5
<u>29.1 lin. ft.</u>	<u>12.83</u>
	26.25
	12.33
	17.67
	20.83
	<u>18.06</u>
	125.07 lin. ft.

TOTAL PERIMETER = 154.17 lin. ft.
125.07 / 154.17 = 82.42%
MORE THAN 1/2 PERIMETER LESS THAN 6' FROM FINISHED FLOOR
BUILDING LESS THAN 12' FROM FINISHED FLOOR QUALIFIES AS BASEMENT

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS

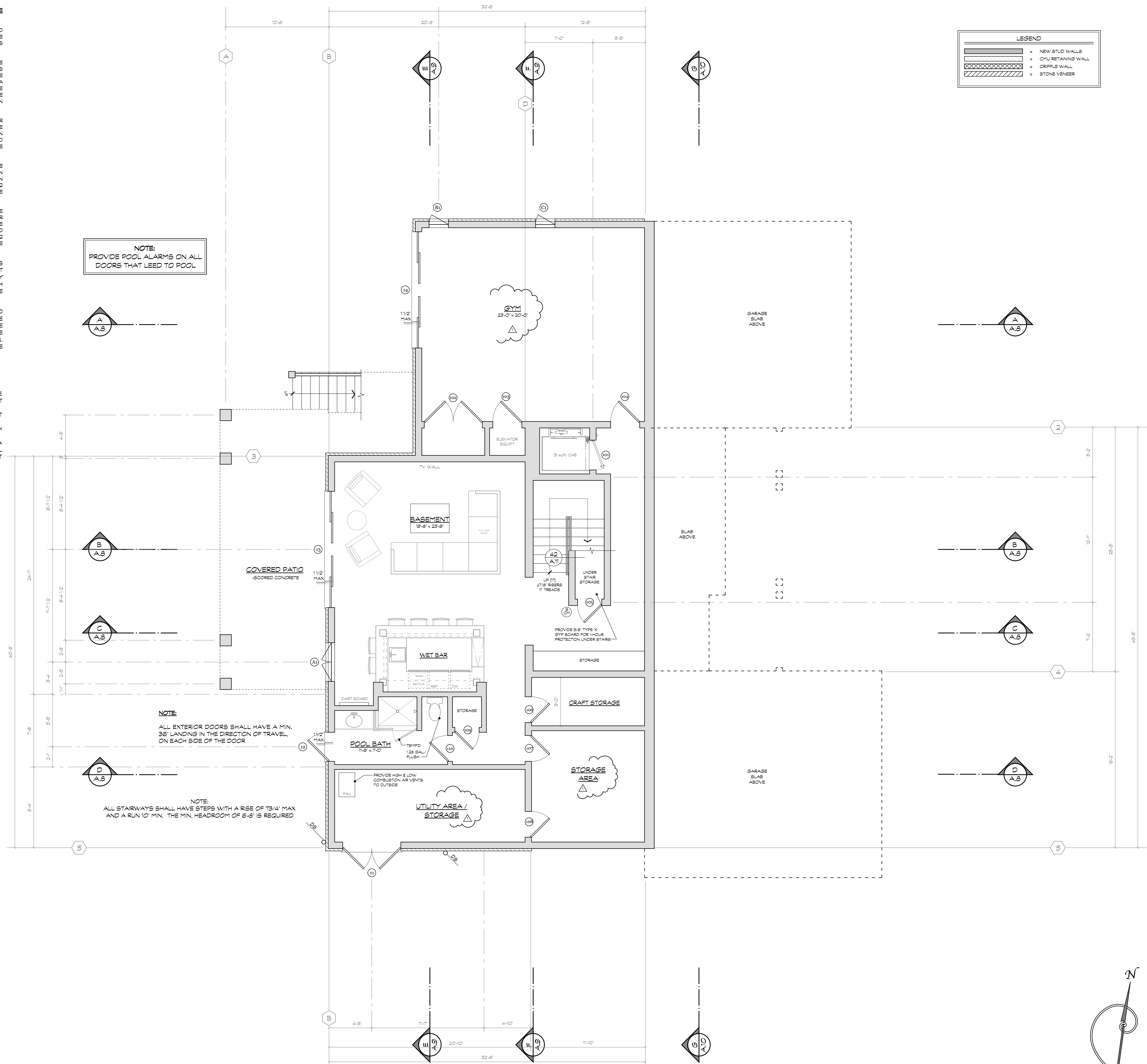
1. PROVIDE APPROVED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH CBC AT ALL EXISTING BEDROOMS AND HALLS OUTSIDE OF BEDROOMS.
2. IN NEW CONSTRUCTION THE REQ'D SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING SLEEPING ROOMS AND HALLWAYS.
3. WHERE MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM OR CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN BUILDING CODE 420.6 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE R315 FOR GROUP R-3 ONLY.
5. SINGLE-STATION AND MULTI-STATION SMOKE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.2.11 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
6. SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE (WITH EXCEPTION OF PERMITTED IONIZATION SMOKE ALARMS), PER CRC 314.3.3
7. FOR TRAY-SHAPED CEILINGS (COFFERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 IN. (300 MM) VERTICALLY DOWN FROM THE HIGHEST POINT, PER CRC 314.3.3

EGRESS WINDOWS

1. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET
2. THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24"
3. THE MINIMUM NET CLEAR OPERABLE WIDTH DIMENSION SHALL BE 20"
4. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A BOTTOM CLEAR OPENING HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

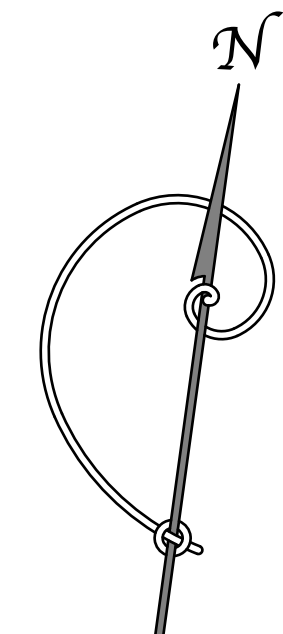
DIMENSION PLAN NOTES:

1. MEASUREMENTS TAKEN FROM FACE OF STUD OR CENTER OF WALL, U.N.O.
2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES FOUND IN THE FIELD OR IF ADDITIONAL DIMENSIONS ARE NEEDED



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



MILES E. PRITZKAT ARCHITECT
KEITH B. JOHNSON ARCHITECT
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REDONDO BEACH, CALIFORNIA 90277
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EGRESS WINDOWS

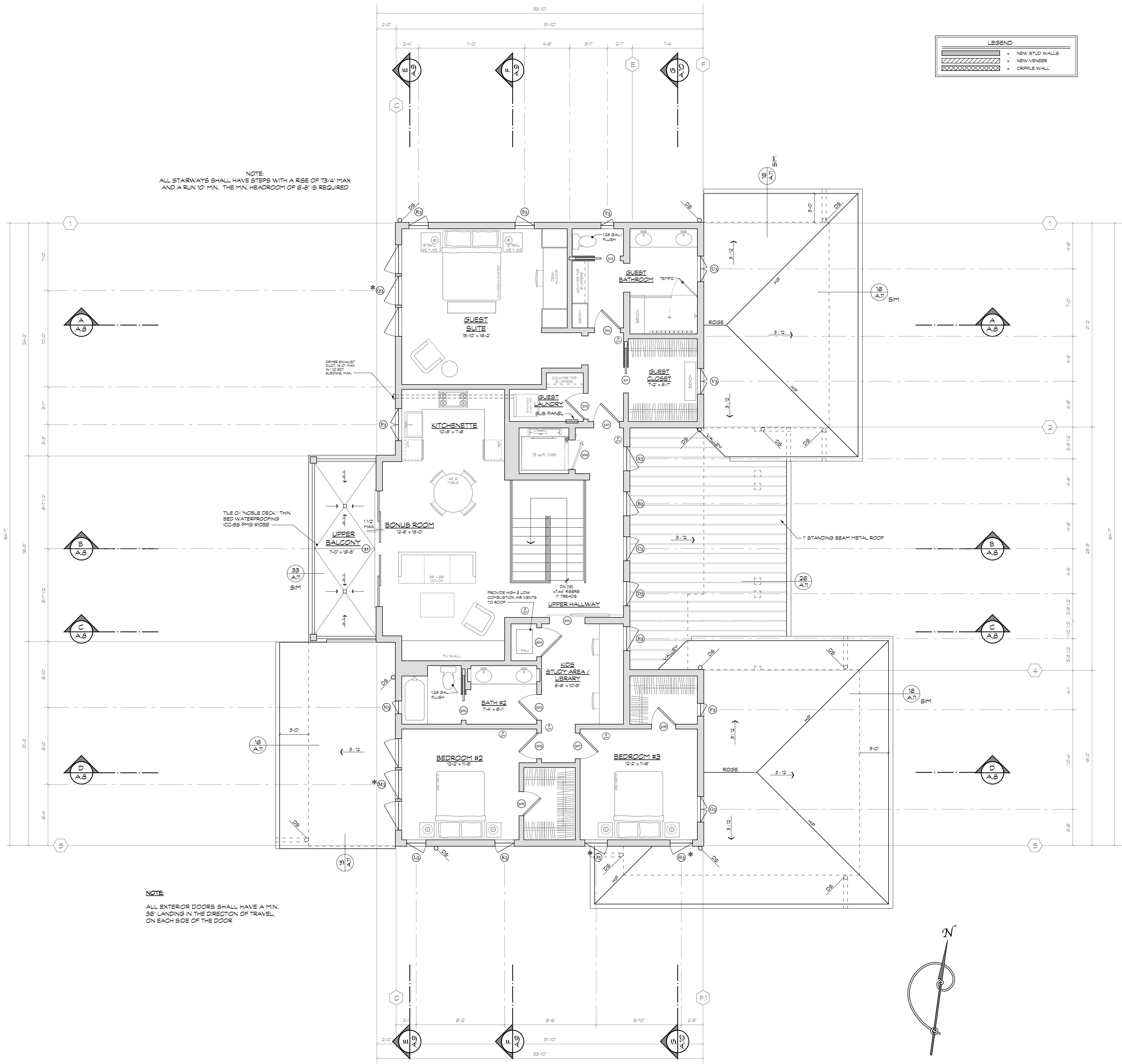
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DIMENSION PLAN NOTES:

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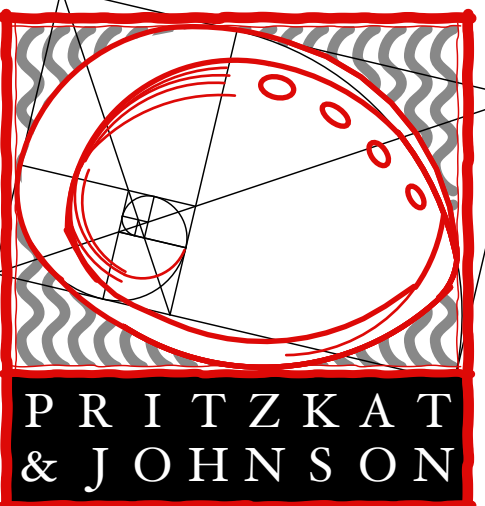
NOTE:
ALL STAIRWAYS SHALL HAVE STEPS WITH A RISE OF 7 3/4" MAX AND A RUN 10" MIN. THE MIN. HEADROOM OF 6'-8" IS REQUIRED.

NOTE:
ALL EXTERIOR DOORS SHALL HAVE A MIN. 36" LANDING IN THE DIRECTION OF TRAVEL, ON EACH SIDE OF THE DOOR.



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



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No.	Date	DESCRIPTION
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A.4

ATTIC VENTILATION CALCULATION

UPPER LEVEL:

1646 sq.ft. OF ATTIC
1646 / 150 = 10.97 sq.ft. FREE AIR REQ'D
or 158" sq.in.

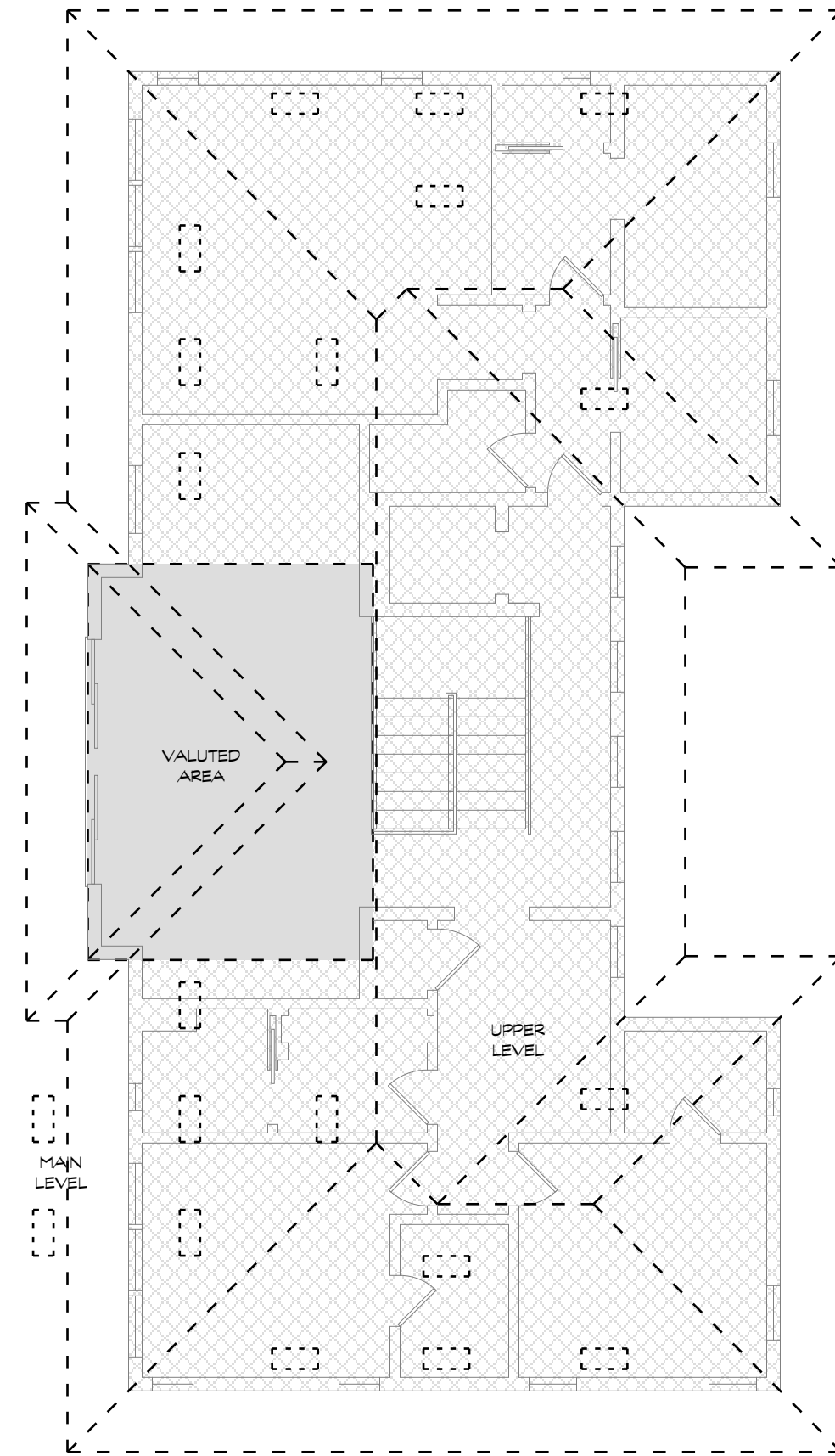
USE FLAT VENTS FROM CHAGINS, INC. IN CONJUNCTION WITH BORAL ROOFING TILE WITH 1/8" MESH THROUGHOUT VENT. VENTS TO PROVIDE 98.75 sq.in. FREE AIR

USE MIN (8) VENTS FOR 1777 sq.in. FREE AIR

MAIN LEVEL:

150 sq.ft. OF ATTIC
150 / 150 = 1.27 sq.ft. FREE AIR REQ'D
or 152 sq.in.

USE MIN (2) VENTS FOR 1977 sq.in. FREE AIR



ATTIC AREAS

SCALE: 1/8" = 1'-0"

ROOF NOTES

1. THE FINISHED RIDGE HEIGHT (INCLUDING ROOFING MATERIAL) SHALL NOT EXCEED THE HEIGHT LISTED ON THE PLOT PLAN.
2. ROOF PITCH PER ROOF PLAN
3. COORDINATE ROOFING, SHEET METAL WORK AND CHIMNEY WORK TO PROVIDE A COMPLETE WATERPROOF INSTALLATION.
4. PAINT ALL EXPOSED SHEET METAL, VENTS, CRICKETS, ETC. TO MATCH COLOR OF TILES IN CONFORMANCE WITH PAINTING SPECIFICATIONS.
5. THE RIDGE HEIGHT SHALL BE CERTIFIED BY A LICENSED SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMING/SHEATHING BY THE PALOS VERDES ESTATES BUILDING AND SAFETY DEPT.
6. TILE ROOFING MATERIAL SHALL NOT EXCEED 10 POUNDS PER SQUARE FOOT.

FIRE DEPARTMENT NOTES FOR ROOF MATERIALS

1. ALL ROOF COVERINGS SHALL BE CLASS 'A' AS SPECIFIED IN BUILDING CODE 1905.2. WOOD SHINGLE AND WOOD-SHAKE ROOFS ARE PROHIBITED IN VERY HIGH FIRE HAZARD SEVERITY ZONES REGARDLESS OF CLASSIFICATION. BUILDING CODE 704A.1.2
2. ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN .019-INCH (NO.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3)
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (RESIDENTIAL CODE R327.5.3.4 AND BUILDING CODE 705A.4)
4. VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE. VENT OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN 1/8" INCH OPENINGS, AND SHALL NOT EXCEED 1/8" INCH. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 706A.1)

SPECIFIC ROOF NOTES

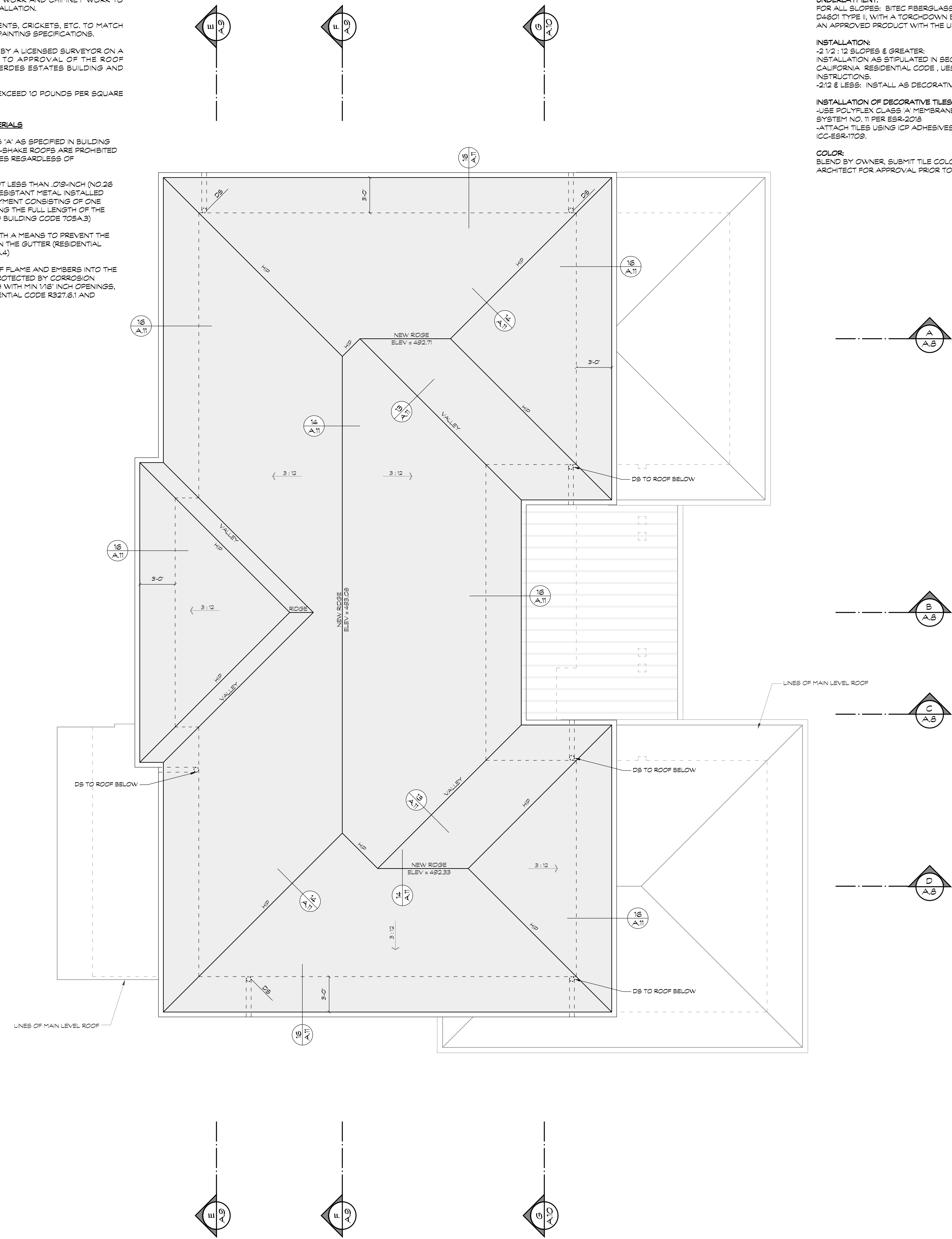
MATERIAL:
NEW ROOF TO CONSIST OF SAKONY 300 FLAT SLATE CEMENTITIOUS ROOFING, MANUFACTURED BY BORAL ROOFING, UES-ER #412. TO BE A CLASS 'A' ROOF.

UNDERLAYMENT:
FOR ALL SLOPES: BITEC FIBERGLASS BASE SHEET, UL TYPE G2, ASTM D4601 TYPE II, WITH A TORCHDOWN BITEC CAP SHEET, APS-4T. BITEC IS AN APPROVED PRODUCT WITH THE UNDERWRITERS LABORATORY.

INSTALLATION:
-2 1/2 : 12 SLOPES & GREATER:
INSTALLATION AS STIPULATED IN SEC. R305.3 OF THE CURRENT CALIFORNIA RESIDENTIAL CODE, UES-510 AND MANUFACTURERS PRINTED INSTRUCTIONS.
-2:12 & LESS: INSTALL AS DECORATIVE, SEE BELOW

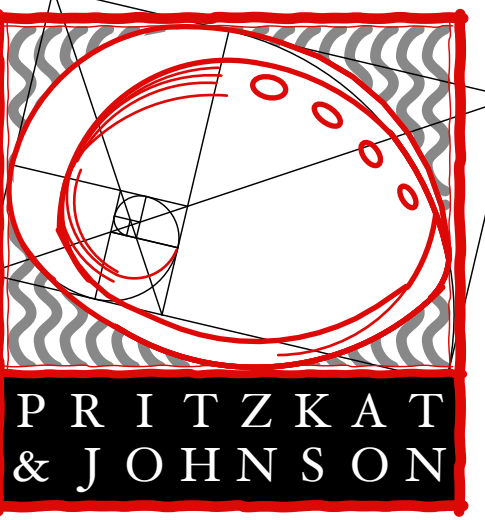
INSTALLATION OF DECORATIVE TILES:
-USE POLYFLEX CLASS A MEMBRANE ROOF SYSTEM NO. 11 PER ESR-2016
-ATTACH TILES USING ICP ADHESIVES POLYSET AH-160 CONFORMING TO ICC-ESR-1703.

COLOR:
BLEND BY OWNER. SUBMIT TILE COLOR SAMPLE TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING.



UPPER LEVEL NEW ROOF PLAN

SCALE: 1/4" = 1'-0"



PRITZKAT & JOHNSON ARCHITECTS

MILES E. PRITZKAT ARCHITECT
KEITH B. JOHNSON ARCHITECT

306 VISTA DEL MAR, SUITE A REDONDO BEACH, CALIFORNIA 90277

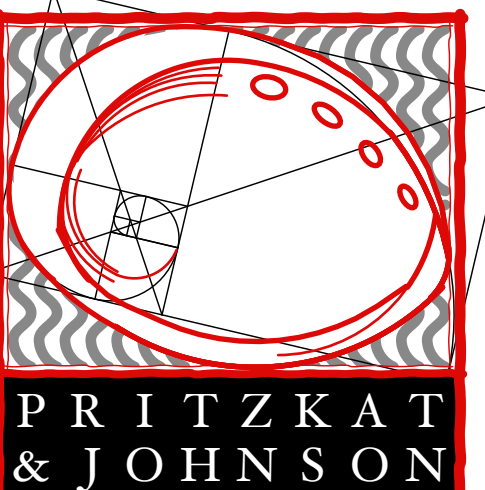
310.375.7700 info@pjaiac.com

NEW RESIDENCE FOR:
PETER & MAYA NAVARRA
2824 Victoria Place Palos Verdes Estates California 90274

PERMIT SET: 05.05.21
REVISED: 06.09.21

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS		
No.	Date	DESCRIPTION
1	06.09.21	ADDED BASE AREA



PRITZKAT & JOHNSON
ARCHITECTS
www.pritzkatjohnson.com

MILES E. PRITZKAT
ARCHITECT
KEITH B. JOHNSON
ARCHITECT

106 VISTA DEL MAR, SUITE A
REDONDO BEACH,
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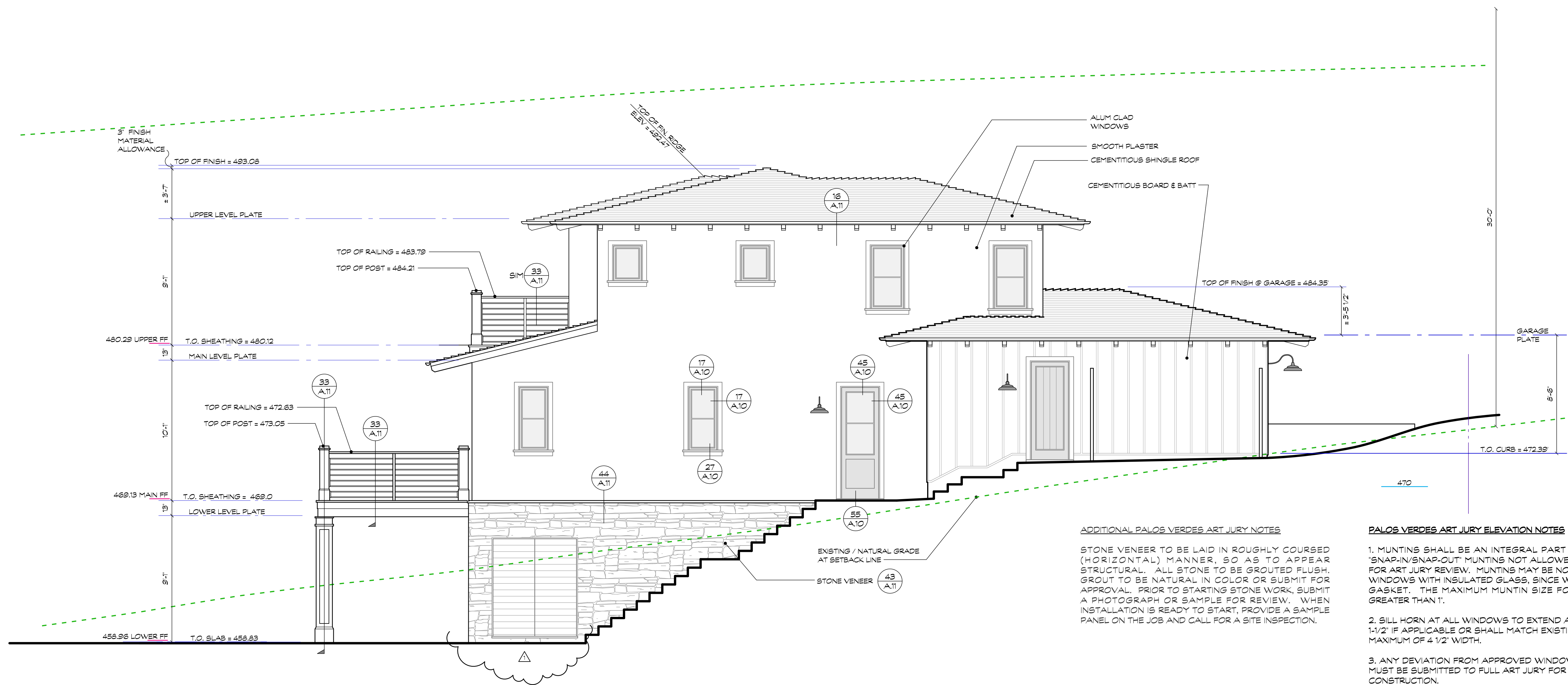
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REVISIONS		
No.	Date	DESCRIPTION
1	06.09.21	ADDED BASE AREA



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ADDITIONAL PALOS VERDES ART JURY NOTES
STONE VENEER TO BE LAID IN ROUGHLY COURSED (HORIZONTAL) MANNER, SO AS TO APPEAR STRUCTURAL. ALL STONE TO BE GROUTED FLUSH. GROUT TO BE NATURAL IN COLOR OR SUBMIT FOR APPROVAL. PRIOR TO STARTING STONE WORK, SUBMIT A PHOTOGRAPH OR SAMPLE FOR REVIEW. WHEN INSTALLATION IS READY TO START, PROVIDE A SAMPLE PANEL ON THE JOB AND CALL FOR A SITE INSPECTION.

- PALOS VERDES ART JURY ELEVATION NOTES**
- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. 'SNAP-IN/SNAP-OUT' MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS, SINCE WOOD MULLIONS MUST COVER THE GASKET. THE MAXIMUM MUNTIN SIZE FOR SINGLE PANEES SHALL BE NO GREATER THAN 1".
 - SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1 1/2" IF APPLICABLE OR SHALL MATCH EXISTING. WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH.
 - ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.

- PALOS VERDES HOMES ASSOCIATION INSPECTION NOTES**
- CALL HOMES ASSOCIATION FOR FRAMING INSPECTION ONCE WINDOWS ARE INSTALLED
 - CALL HOMES ASSOCIATION FOR FINAL INSPECTION ONCE PROJECT IS COMPLETE.