

www.pritzkatjohnson.com

MILES E. PRITZKAT ARCHITECT

KEITH B. JOHNSON ARCHITECT

306 VISTA DEL MAR, SUITE A REDONDO BEACH, CALIFORNIA 90727

TEL: 310-375-7700 FAX: 310-375-4375

ADDITION & REMODEL TO THE RESIDENCE OF:  
**WADE & SUSAN WELCH**  
California 90274

421 Via Media Palos Verdes Estates

**PERMIT SET**  
12.27.19

**REVISED:**  
02.15.21

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS

No.	Date	DESCRIPTION
△	03.09.20	DWY MOIS
△	02.20.21	HARDSCAPE MODS

A.I.a

02.10.21, 2:11 PM

**DRAINAGE NOTES:**  
DRAINAGE SHOWN FOR CONCEPT ONLY, CIVIL ENGINEER TO PROVIDE PLAN FOR PLAN CHECK

404 PASEO DEL MAR  
LOT 2 BLOCK 1511 TRACT 6886  
RIDGE = 102.50  
2nd LEVEL FF = 89.95  
1st LEVEL FF = 81.09

408 PASEO DEL MAR  
LOT 3 & 4 (partial) BLOCK 1511 TRACT 6886  
RIDGE = 95.75  
GARAGE RIDGE = 96.56  
FF = 83.00

**CITY OF PALOS VERDES ESTATES**  
**REQUIRED PLAN CHECK INFORMATION**  
THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION

**OWNER/APPLICANT:** Wade & Susan Welch **PHONE:** 310.408.4391  
**PROJECT ADDRESS:** 421 Via Media  
**LEGAL DESCRIPTION:** LOT: 12 & 13 BLOCK: 1511 TRACT: 6886  
**APPLICANT'S AGENT:** Pritzkat & Johnson Architects, Inc. **PHONE:** 310.375.7700  
**DATE:** 02.10.21

**LOT SIZE:** 18,129 square feet

**ALLOWABLE FLOOR AREA:** 7,189 equals the smaller of 30% (lot size) + 1750 or 50% (lot size)

**EXISTING LOT COVERAGE:** 2,588 sq. ft. 14.28% BUILDING  
1,200 sq. ft. 6.62% HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)  
3,788 sq. ft. 20.89% TOTAL

**PROPOSED LOT COVERAGE:** (include only added lot coverage)  
1,823 sq. ft. 10.06% BUILDING (Not To Exceed 30%)  
3,521 sq. ft. 19.42% HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)  
5,344 sq. ft. 29.48% TOTAL

**TOTAL LOT COVERAGE:** (sum of existing and proposed)  
4,411 sq. ft. 24.33% BUILDING (Not To Exceed 30%)  
4,721 sq. ft. 26.04% HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)  
9,132 sq. ft. 50.37% TOTAL (Not To Exceed 65%)

**EXISTING FLOOR AREA:** 0 sq. ft. BASEMENT 0 sq. ft. MEZZANINE  
2,588 sq. ft. MAIN LEVEL 656 sq. ft. GARAGE  
0 sq. ft. UPPER LEVEL 3,244 sq. ft. TOTAL

**NEW FLOOR AREA:** (include only added floor area)  
331 sq. ft. BASEMENT 0 sq. ft. MEZZANINE  
1,400 sq. ft. MAIN LEVEL 569 sq. ft. GARAGE  
1,189 sq. ft. UPPER LEVEL 3,489 sq. ft. TOTAL

**TOTAL FLOOR AREA:** (sum of existing and proposed)  
331 sq. ft. BASEMENT 0 sq. ft. MEZZANINE  
3,988 sq. ft. MAIN LEVEL 1,225 sq. ft. GARAGE  
1,189 sq. ft. UPPER LEVEL 6,733 sq. ft. TOTAL

**GRADING INFORMATION**  
PREVIOUS GRADING: (Any movement of earth on this site prior to this application)

CUT	0	cubic yards
FILL	0	cubic yards
TOTAL	0	cubic yards

PROPOSED GRADING: (Movement of earth required for this project)

CUT	586	cubic yards
FILL	881	cubic yards
OVEREXCAVATION	20	cubic yards
RECOMPACTION**	0	cubic yards
TOTAL	1487	cubic yards

**ONE STORY W/ BASEMENT CALCULATIONS: ALSO SEE CALC PAGE**

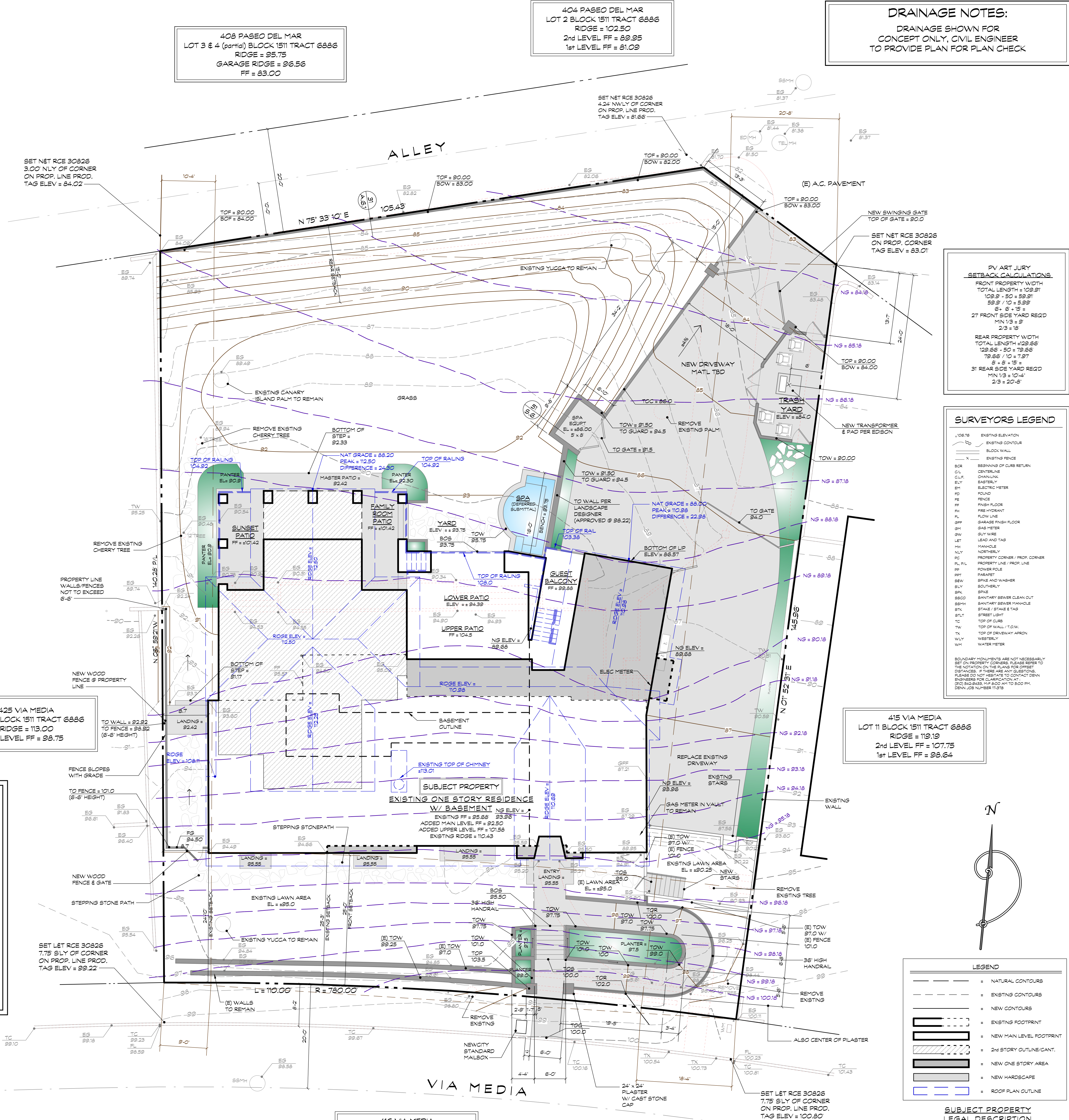
PERIMETER OVER 6' FROM FINISHED FLOOR	PERIMETER LESS THAN 6' FROM FINISHED FLOOR
10.19	12.00
20.15	20.15
2.58	2.58
26.50	26.50
36.46	36.46
3.58	3.58
10.99	17.08
19.68	7.17
24.67	1.33
28.03	15.33
8.07	18.75
99.11	171.12
<b>TOTAL PERIMETER = 264.23</b>	
171.12 / 264.23 = 64.76%	

MORE THAN 1/2 PERIMETER LESS THAN 6' FROM FINISHED FLOOR

**NOTE:**  
HARDSCAPE ON THIS SHEET FOR CONCEPTUAL PURPOSES ONLY  
LANDSCAPE & HARDSCAPE PLANS BY OTHERS.

**SIGNATURES FOR MINOR MODIFICATION**

Address	Name	Phone	Date	Signature



**PV ART JURY SETBACK CALCULATIONS**

FRONT PROPERTY WIDTH	TOTAL LENGTH = 109.9'
12.0' @ .50 = 6.0'	
58.9' / 10 = 5.89'	
8' @ .15 = 1.2'	
27 FRONT SIDE YARD REQ	MIN 1/3 = 8'
2/3 = 18'	
REAR PROPERTY WIDTH	TOTAL LENGTH = 128.66'
128.66' @ .50 = 64.33'	
79.66' / 10 = 7.97'	
8' @ .15 = 1.2'	
31 REAR SIDE YARD REQ	MIN 1/3 = 10.4'
2/3 = 20.8'	

**SURVEYORS LEGEND**

- 106.76 EXISTING ELEVATION
- EXISTING CONTOUR
- BLACK WALL
- EXISTING FENCE
- BOR BEGINNING OF CURB RETURN
- C.L. CENTERLINE
- CH.N.W. CHANNEL NORTH WESTERLY
- EL. ELEVATION
- ELECT. METER
- FD ROAD
- FF FINISH FLOOR
- FL. FLOOR FINISH
- FL. FLOOR FINISH FLOOR
- GM. GAS METER
- GR. GRASS
- LET LEAD AND TAG
- N.H. NORTH HANDLE
- N.W. NORTH WESTERLY
- P.C. PROPERTY CORNER / PROP. CORNER
- PL. PLASTER
- PROP. LINE PROPERTY LINE / PROP. LINE
- PS. POWER POLE
- RPT. RAKE
- SEN. SPRINKLER
- SEV. SEWER
- S.K. SLOPE
- B.O.C. SANITARY SEWER CLEAN OUT
- SB.M. SANITARY SEWER MANHOLE
- ST. STAIRS
- ST.L. STREET LIGHT
- TC. TOP OF CURB
- T.W. TOP OF WALL / T.G.W. TOP OF DRIVEWAY APRON
- T.V. TRUNK
- W.H. WATER METER

420 VIA MEDIA  
LOT 15 BLOCK 1513 TRACT 6886  
RIDGE = 129.15  
2nd LEVEL FF = 115.00  
1st LEVEL FF = 103.75

416 VIA MEDIA  
LOT 14 BLOCK 1513 TRACT 6886  
RIDGE = 133.35  
2nd LEVEL FF = 119.50  
FF = 109.25

412 VIA MEDIA  
LOT 13 BLOCK 1513 TRACT 6886  
RIDGE = 129.25  
2nd LEVEL FF = 116.00  
1st LEVEL FF = 104.25

**LEGEND**

- NATURAL CONTOURS
- EXISTING CONTOURS
- NEW CONTOURS
- EXISTING FOOTPRINT
- NEW MAN LEVEL FOOTPRINT
- 2nd STORY OUTLINE/CANT.
- NEW ONE STORY AREA
- NEW HARDSCAPE
- ROOF PLAN OUTLINE

**SUBJECT PROPERTY LEGAL DESCRIPTION**  
LOT 12 & 13 BLOCK 1511 TRACT 6886

**NOTE:**  
NATURAL GRADE LINES ARE BASED OFF OF ORIGINAL ART JURY PLANS  
ORIGINAL FF = 94.5  
SURVEYOR FF = 95.68  
1.18' ADDED TO ART JURY CONTOURS

**PLOT PLAN**  
SCALE: 1/8" = 1'-0"

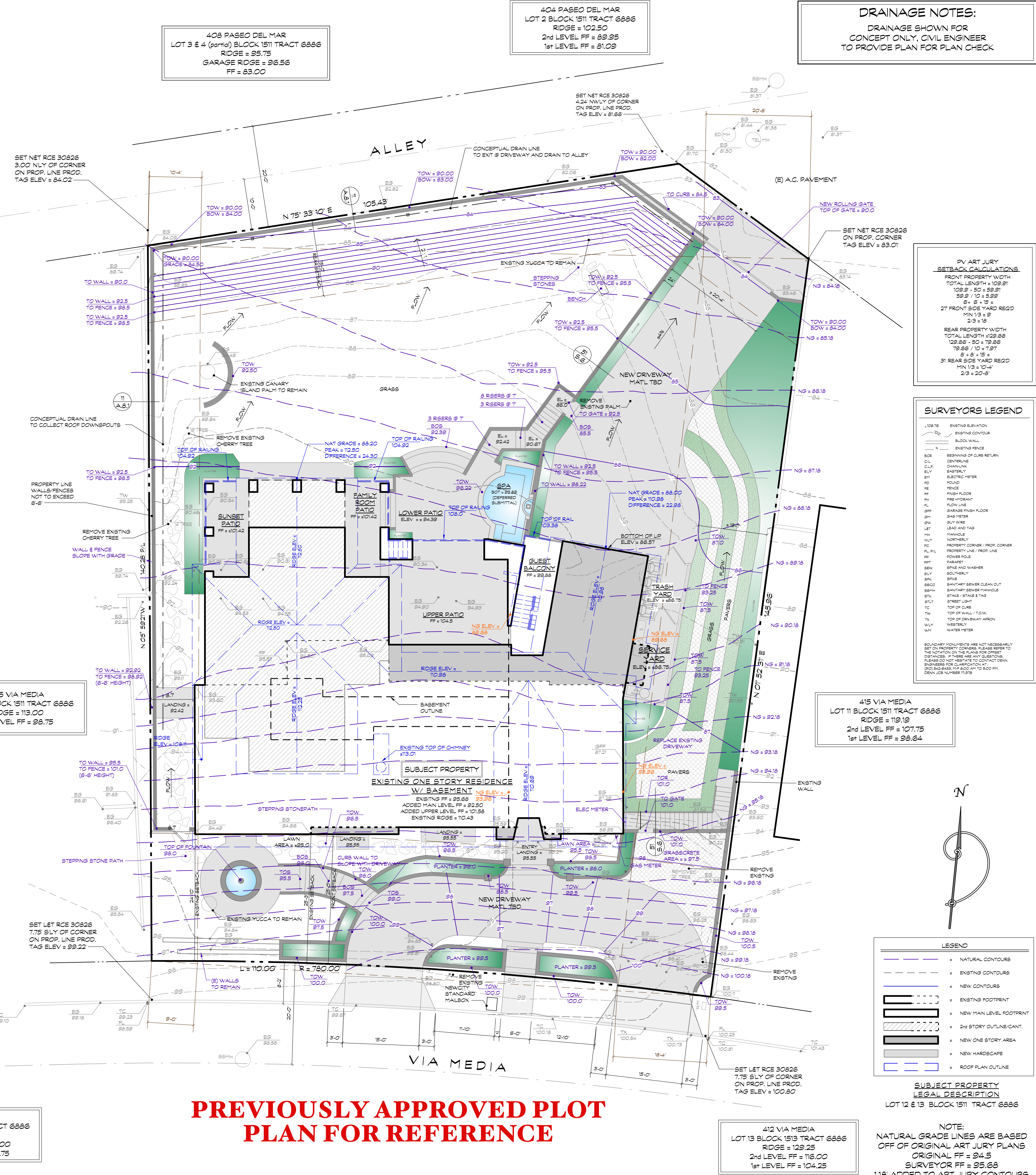
CITY OF PALOS VERDES ESTATES	
REQUIRED PLAN CHECK INFORMATION	
THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION	
OWNER/APPLICANT: Wade & Susan Welch	PHONE: 310.408.4391
PROJECT ADDRESS: 421 Via Media	
LEGAL DESCRIPTION: LOT 12 & 13 BLOCK: 1511 TRACT: 6886	
APPLICANT'S AGENT: Pritzkat & Johnson Architects, Inc.	PHONE: 310.375.7700
DATE: 08.09.19	
LOT SIZE: 18,129 square feet	
ALLOWABLE FLOOR AREA: 7,189 equals the smaller of 30% (lot size) + 1750 or 50% (lot size)	
EXISTING LOT COVERAGE:	BUILDING
2,588 sq. ft.	14.28 %
1,200 sq. ft.	6.62 %
3,788 sq. ft.	20.89 %
TOTAL	
PROPOSED LOT COVERAGE:	(include only added lot coverage)
1,823 sq. ft.	10.06 %
4,171 sq. ft.	23.02 %
5,997 sq. ft.	33.08 %
TOTAL	
TOTAL LOT COVERAGE:	(sum of existing and proposed)
4,411 sq. ft.	24.33 %
3,371 sq. ft.	18.61 %
9,785 sq. ft.	53.97 %
TOTAL	
EXISTING FLOOR AREA:	
0 sq. ft.	BASEMENT
2,588 sq. ft.	MAIN LEVEL
0 sq. ft.	UPPER LEVEL
TOTAL	
NEW FLOOR AREA:	(include only added floor area)
331 sq. ft.	BASEMENT
1,400 sq. ft.	MAIN LEVEL
1,189 sq. ft.	UPPER LEVEL
TOTAL	
331 sq. ft.	BASEMENT
3,988 sq. ft.	MAIN LEVEL
1,189 sq. ft.	UPPER LEVEL
TOTAL	

GRADING INFORMATION*	
PREVIOUS GRADING: (Any movement of earth on this site prior to this application)	
CUT	0 cubic yards
FILL	0 cubic yards
TOTAL	0 cubic yards
PROPOSED GRADING: (Movement of earth required for this project)	
CUT	586 cubic yards
FILL	881 cubic yards
OVEREXCAVATION**	20 cubic yards
RECOMPACTION**	0 cubic yards
TOTAL	1487 cubic yards

**NOTE:**  
HARDSCAPE ON THIS SHEET FOR CONCEPTUAL PURPOSES ONLY  
LANDSCAPE & HARDSCAPE PLANS BY OTHERS.

ONE STORY W/ BASEMENT CALCULATIONS: ALSO SEE CALC PAGE	
PERIMETER OVER 6 FROM FINISHED FLOOR	PERIMETER LESS THAN 6 FROM FINISHED FLOOR
12.00	10.19
20.15	12.00
2.58	20.15
26.50	2.58
36.48	26.50
3.58	36.48
10.99	3.58
18.68	10.99
24.57	18.68
28.09	24.57
6.07	28.09
93.11	6.07
TOTAL PERIMETER = 264.23	
17.12 / 264.23 = 6.476%	
MORE THAN 1/2 PERIMETER LESS THAN 6 FROM FINISHED FLOOR	

420 VIA MEDIA  
LOT 15 BLOCK 1513 TRACT 6886  
RIDGE = 129.15  
2nd LEVEL FF = 115.00  
1st LEVEL FF = 103.75



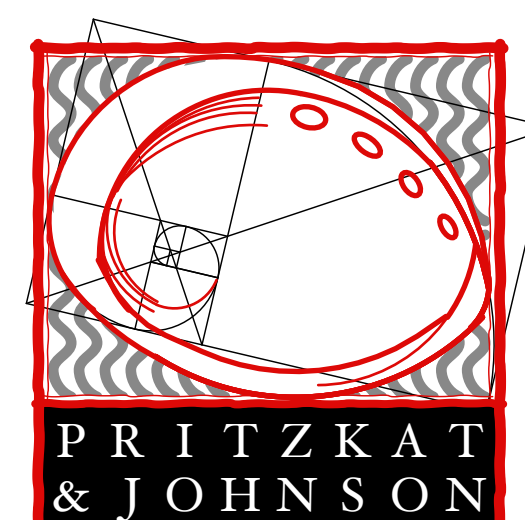
**PREVIOUSLY APPROVED PLOT PLAN FOR REFERENCE**

412 VIA MEDIA  
LOT 13 BLOCK 1513 TRACT 6886  
RIDGE = 129.25  
2nd LEVEL FF = 116.00  
1st LEVEL FF = 104.25

LEGEND	
(dashed line)	NATURAL CONTOURS
(dotted line)	EXISTING CONTOURS
(solid line)	NEW CONTOURS
(dash-dot line)	EXISTING FOOTPRINT
(thick solid line)	NEW MAN LEVEL FOOTPRINT
(hatched area)	2nd STORY OUTLINE/CANT.
(solid grey area)	NEW ONE STORY AREA
(dotted area)	NEW HARDSCAPE
(dashed outline)	ROOF PLAN OUTLINE

**SUBJECT PROPERTY LEGAL DESCRIPTION**  
LOT 12 & 13 BLOCK 1511 TRACT 6886

**NOTE:**  
NATURAL GRADE LINES ARE BASED OFF OF ORIGINAL ART JURY PLANS  
ORIGINAL FF = 94.5  
SURVEYOR FF = 95.68  
1.18' ADDED TO ART JURY CONTOURS



**PRITZKAT & JOHNSON**  
ARCHITECTS  
www.pritzkatjohnson.com

MILES E. PRITZKAT  
ARCHITECT

KEITH B. JOHNSON  
ARCHITECT

306 VISTA DEL MAR, SUITE A  
REDONDO BEACH,  
CALIFORNIA 90277

TEL: 310-375-7700  
FAX: 310-375-4375

ADDITION & REMODEL TO THE RESIDENCE OF:

**WADE & SUSAN WELCH**  
421 Via Media Palos Verdes Estates California 90274

**PERMIT SET**  
12.27.19

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS		
No.	Date	DESCRIPTION

**SMOKE ALARMS AND CARBON MONOXIDE DETECTORS**

1. PROVIDE APPROVED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH CBC AT ALL EXISTING BEDROOMS AND HALLS OUTSIDE OF BEDROOMS.
2. IN NEW CONSTRUCTION THE REQD SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTG SLEEPING ROOMS AND HALLWAYS.
3. WHERE MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM OR CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN BUILDING CODE 420.6 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
5. SINGLE-STATION AND MULTI-STATION SMOKE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.2.11 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
6. SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE (WITH EXCEPTION OF PERMITTED IONIZATION SMOKE ALARMS). PER CRC 314.3.3
7. FOR TRAY-SHAPED CEILINGS (COVERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 IN. (300 MM) VERTICALLY DOWN FROM THE HIGHEST POINT. PER CRC 314.3.3

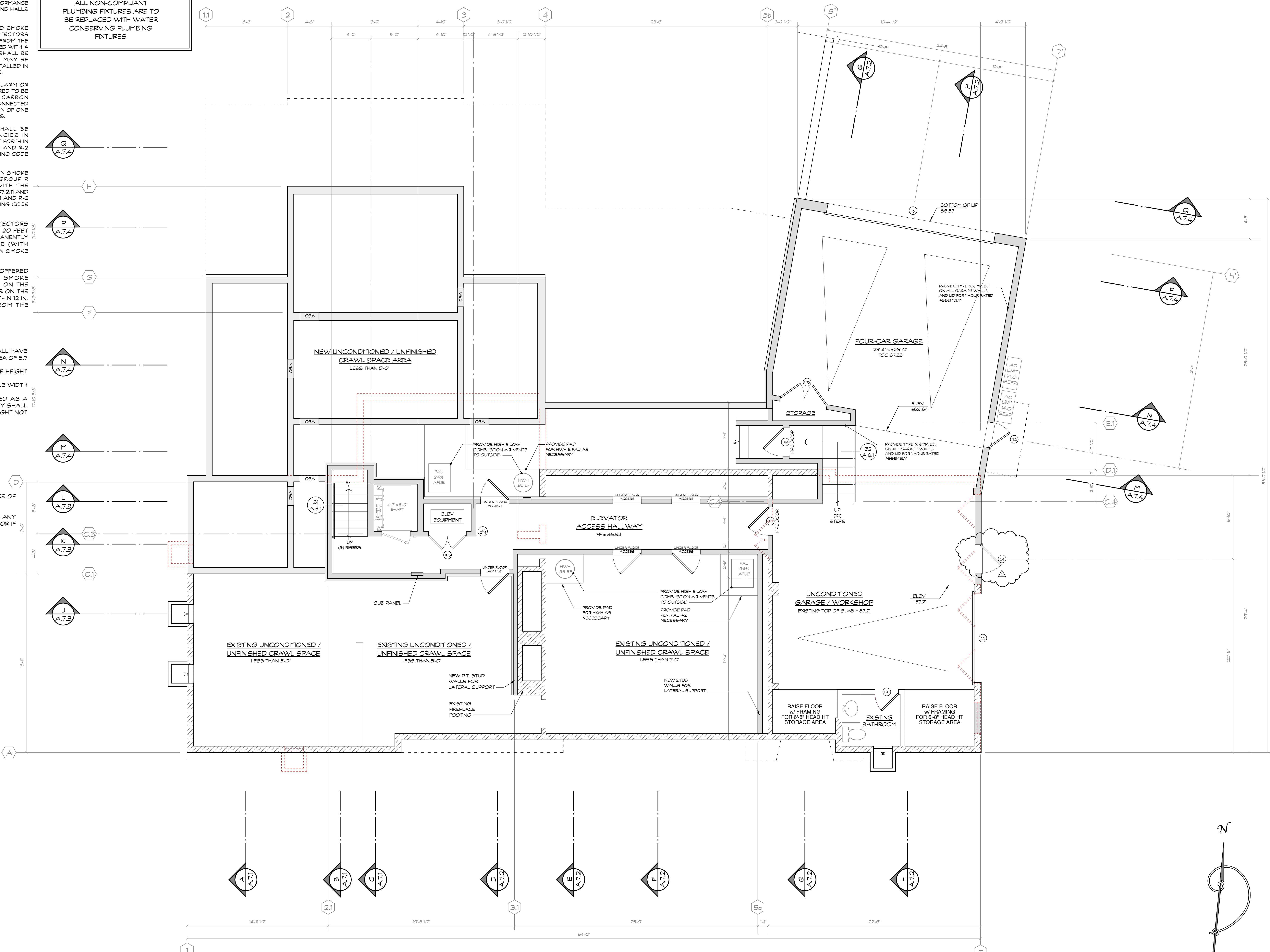
NOTE:  
PER CALIFORNIA SB NO. 407  
ALL NON-COMPLIANT  
PLUMBING FIXTURES ARE TO  
BE REPLACED WITH WATER  
CONSERVING PLUMBING  
FIXTURES

**EGRESS WINDOWS**

1. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET
2. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24"
3. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20"
4. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A BOTTOM CLEAR OPENING HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

**DIMENSION PLAN NOTES:**

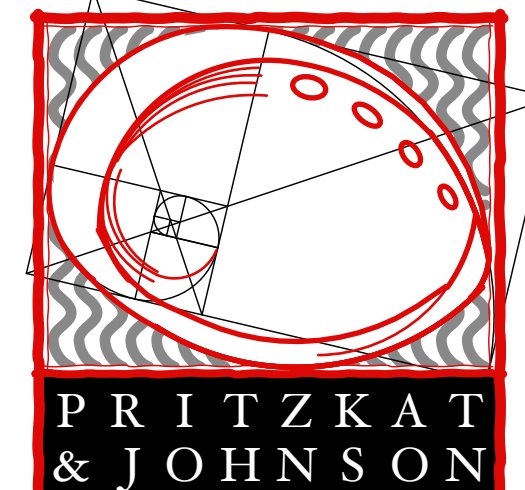
1. MEASUREMENTS TAKEN FROM FACE OF STUD OR CENTER OF WALL, U.N.O.
2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES FOUND IN THE FIELD OR IF ADDITIONAL DIMENSIONS ARE NEEDED



GARAGE LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND**

[Solid Line]	NEW STUD WALLS
[Hatched Box]	EXISTING CMU WALLS
[Cross-hatched Box]	CRIPPLE WALL
[Dashed Line]	EXISTING STUD WALLS
[Dotted Line]	REMOVED WALLS



**PRITZKAT & JOHNSON**  
ARCHITECTS

MILES E. PRITZKAT  
ARCHITECT  
KEITH B. JOHNSON  
ARCHITECT

306 VISTA DEL MAR, SUITE A  
REDONDO BEACH,  
CALIFORNIA 90277  
TEL: 310-375-7700  
FAX: 310-375-4375

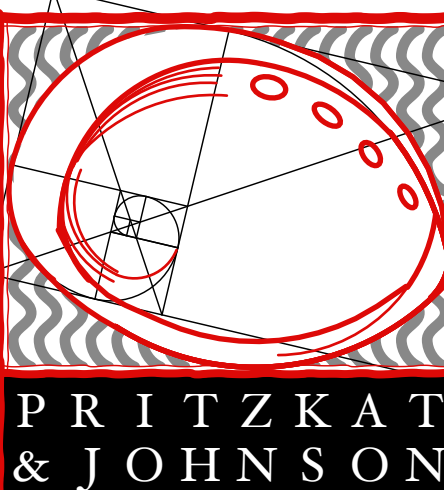
ADDITION & REMODEL TO THE RESIDENCE OF:  
**WADE & SUSAN WELCH**  
421 Via Media Palos Verdes Estates California 90274

**PERMIT SET**  
12.27.19

**REVISED:**  
02.15.21  
THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

**REVISIONS**

No.	Date	DESCRIPTION
△	03.09.20	DRW MODS
△	02.10.21	LANDSCAPE MODS



**PRITZKAT & JOHNSON**  
ARCHITECTS  
www.pritzkatjohnson.com

MILES E. PRITZKAT  
ARCHITECT  
KEITH B. JOHNSON  
ARCHITECT

106 VISTA DEL MAR, SUITE A  
REDONDO BEACH,  
CALIFORNIA 90277

TEL: 310-375-7700  
FAX: 310-375-4375

ADDITION & REMODEL TO THE RESIDENCE OF:

**WADE & SUSAN WELCH**  
421 Via Media Palos Verdes Estates California 90274

**PERMIT SET**  
12.27.19

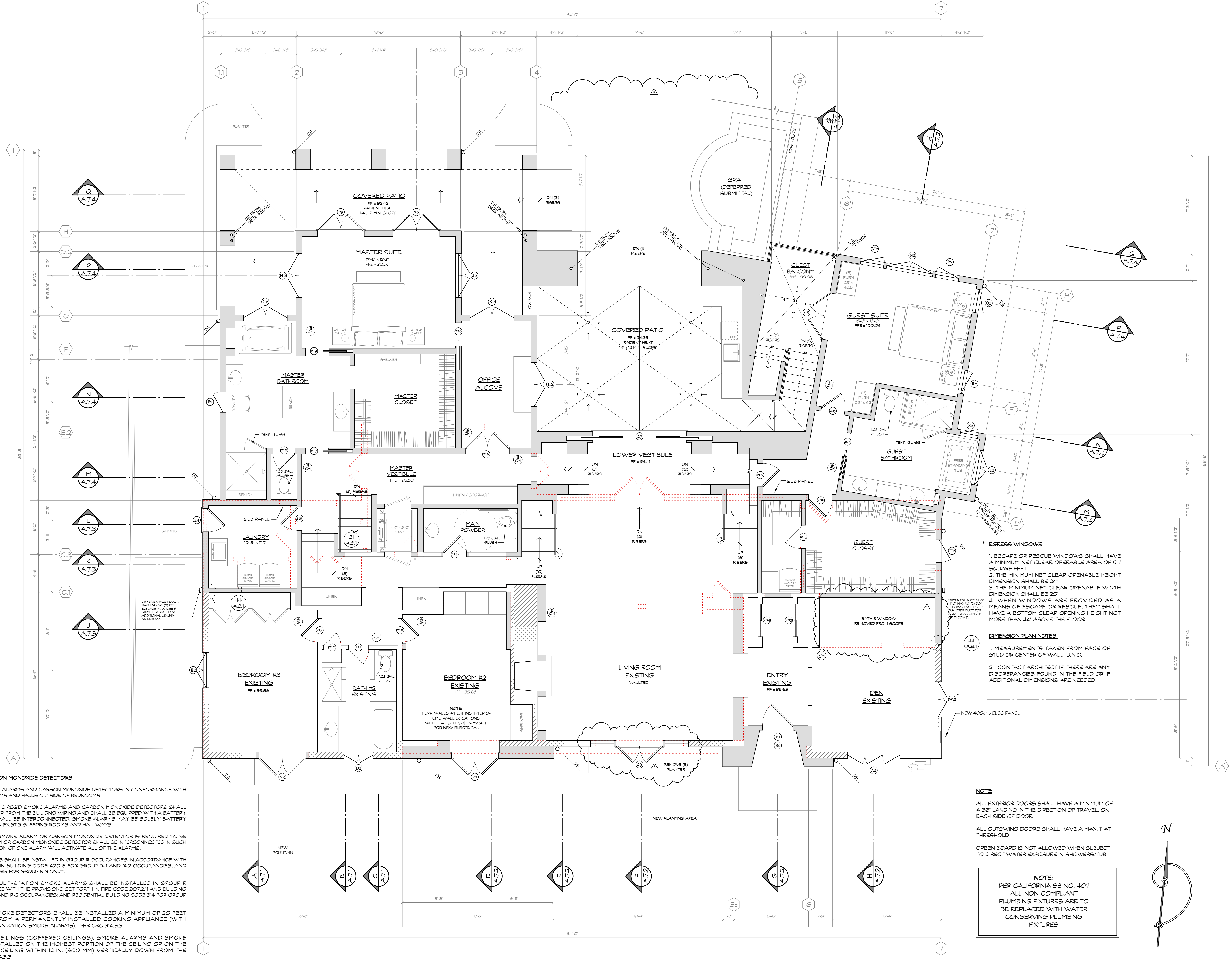
**REVISED:**  
02.15.21

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS

No.	Date	DESCRIPTION
1	03.09.20	DWG MODS
2	02.20.21	LANDSCAPE MODS

No.	Date	DESCRIPTION



- EGRESS WINDOWS**
1. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET
  2. THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24"
  3. THE MINIMUM NET CLEAR OPERABLE WIDTH DIMENSION SHALL BE 20"
  4. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A BOTTOM CLEAR OPENING HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

- DIMENSION PLAN NOTES:**
1. MEASUREMENTS TAKEN FROM FACE OF STUD OR CENTER OF WALL, U.N.O.
  2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES FOUND IN THE FIELD OR IF ADDITIONAL DIMENSIONS ARE NEEDED

- NOTE:**
1. ALL EXTERIOR DOORS SHALL HAVE A MINIMUM OF A 36" LANDING IN THE DIRECTION OF TRAVEL, ON EACH SIDE OF DOOR
  2. ALL OUTSWING DOORS SHALL HAVE A MAX. 1" AT THRESHOLD
  3. GREEN BOARD IS NOT ALLOWED WHEN SUBJECT TO DIRECT WATER EXPOSURE IN SHOWERS/TUBS

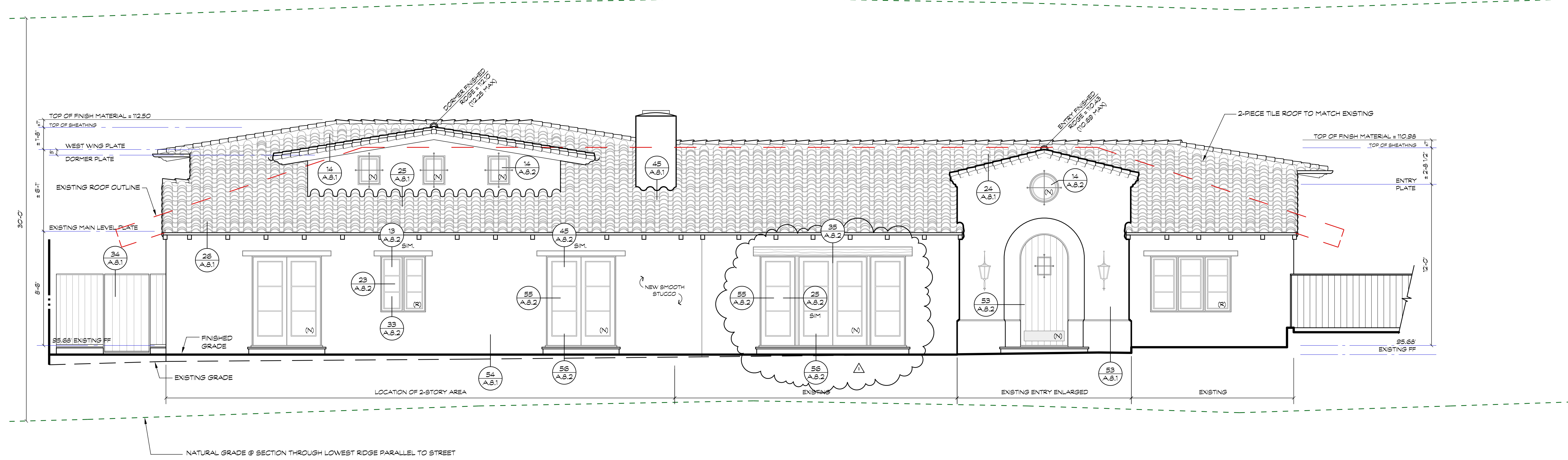
**NOTE:**  
PER CALIFORNIA SB NO. 407  
ALL NON-COMPLIANT  
PLUMBING FIXTURES ARE TO  
BE REPLACED WITH WATER  
CONSERVING PLUMBING  
FIXTURES

- SMOKE ALARMS AND CARBON MONOXIDE DETECTORS**
1. PROVIDE APPROVED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH CBC AT ALL EXISTING BEDROOMS AND HALLS OUTSIDE OF BEDROOMS.
  2. IN NEW CONSTRUCTION THE REQUIRED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING SLEEPING ROOMS AND HALLWAYS.
  3. WHERE MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM OR CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
  4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN BUILDING CODE 420.6 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE R315 FOR GROUP R-3 ONLY.
  5. SINGLE-STATION AND MULTI-STATION SMOKE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.2.11 FOR GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE 914 FOR GROUP R-3 ONLY.
  6. SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE (WITH EXCEPTION OF PERMITTED IONIZATION SMOKE ALARMS). PER CRC 914.3.3
  7. FOR TRAY-SHAPED CEILINGS (COFFERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 IN. (300 MM) VERTICALLY DOWN FROM THE HIGHEST POINT. PER CRC 914.3.3

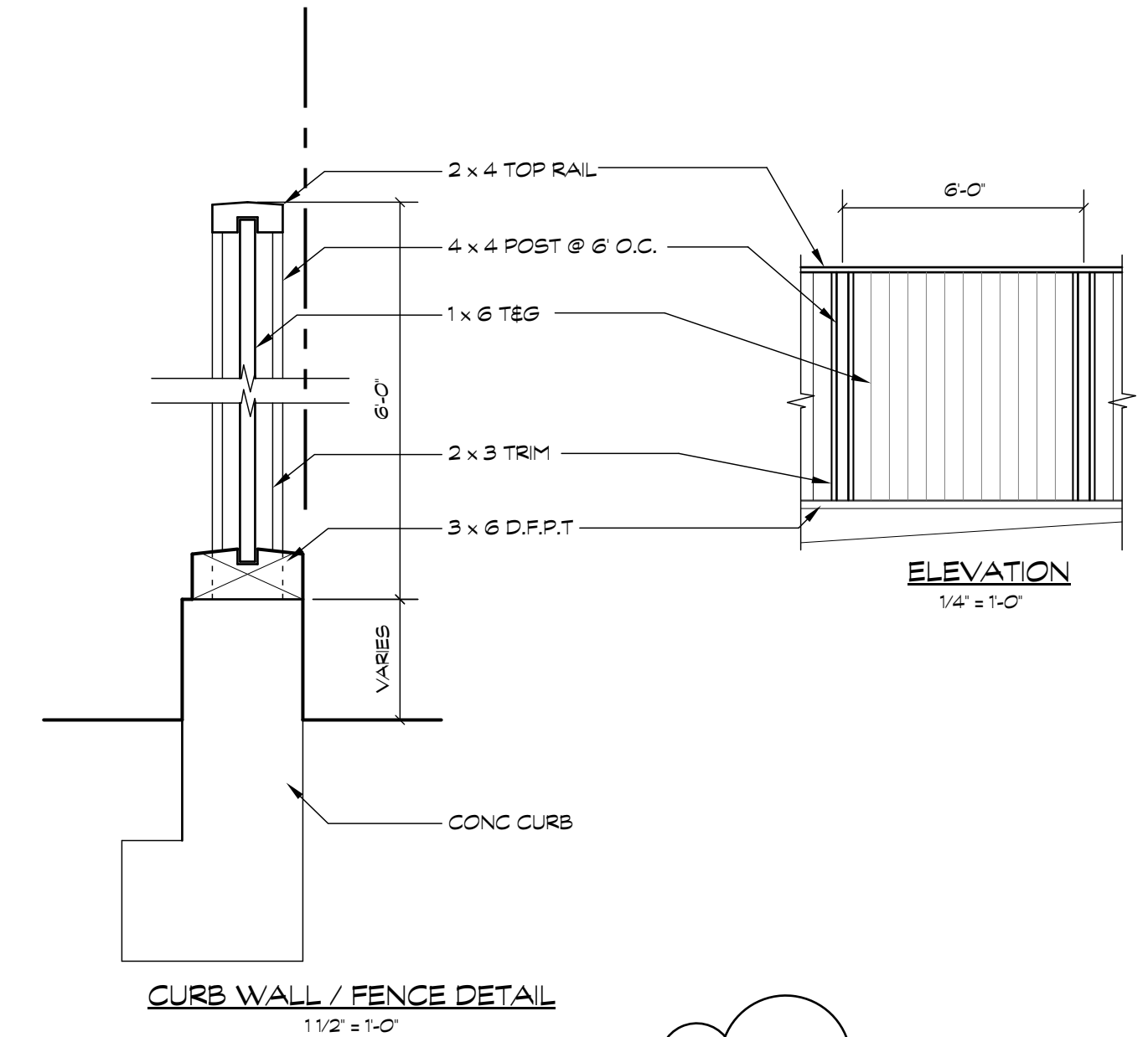
**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

- NEW STUD WALLS
- VENEER
- CRIPPLE WALL
- EXISTING WALLS
- REMOVED WALLS

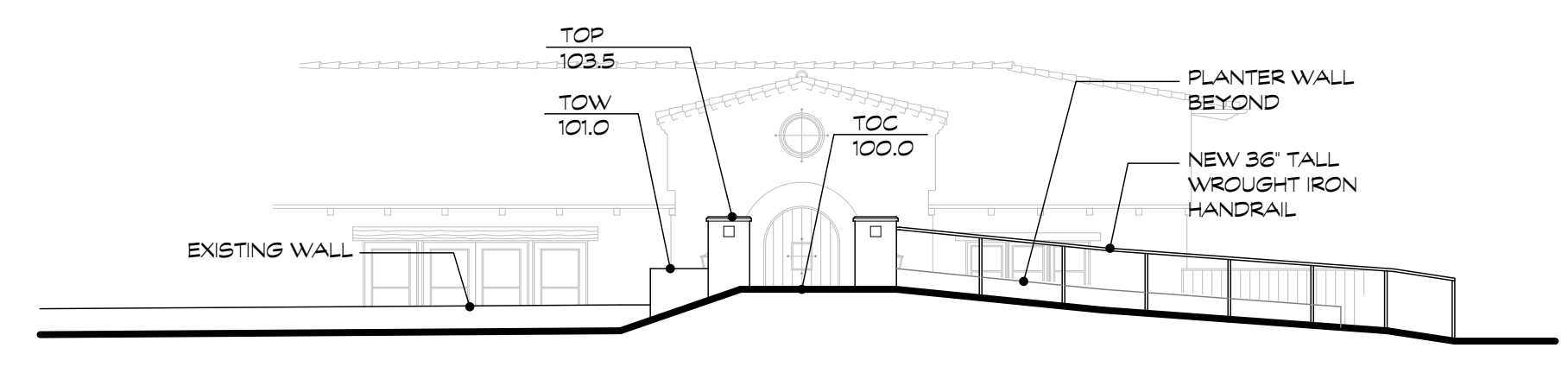


**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

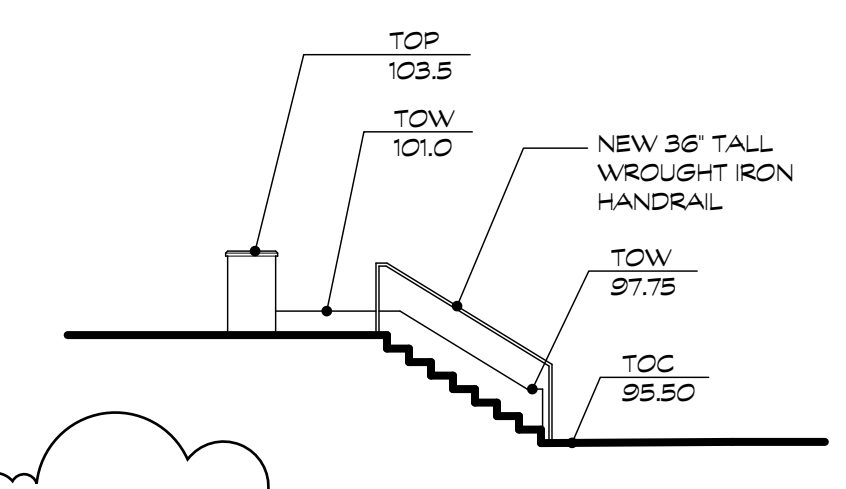


**31 CURB WALL / FENCE DETAIL**  
SCALE: 1 1/2" = 1'-0"

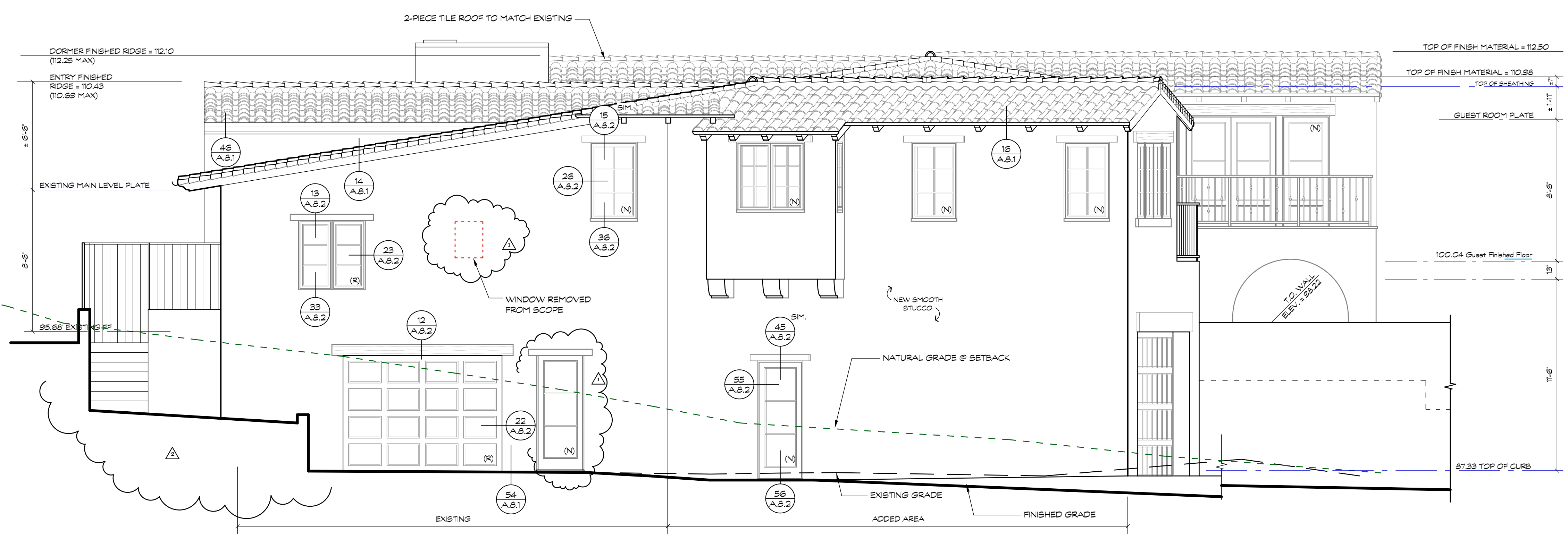
- PALOS VERDES ART JURY ELEVATION NOTES**
- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. 'SNAP-IN/SNAP-OUT' MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS, SINCE WOOD MULLIONS MUST COVER THE GASKET. THE MAXIMUM MUNTIN SIZE FOR SINGLE PANES SHALL BE NO GREATER THAN 1".
  - IF APPLICABLE SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1-1/2" IF APPLICABLE OR SHALL MATCH EXISTING. WOOD DOOR STILES TO BE A MAXIMUM OF 4-1/2" WIDTH.
  - ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.
- PALOS VERDES HOMES ASSOCIATION INSPECTION NOTES**
- CALL HOMES ASSOCIATION FOR FRAMING INSPECTION ONCE WINDOWS ARE INSTALLED.
  - CALL HOMES ASSOCIATION FOR FINAL INSPECTION ONCE PROJECT IS COMPLETE.



**FRONT WALKWAY ELEVATION**  
SCALE: 1/8" = 1'-0"



**WALKWAY SECTION @ STAIRS**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**PERMIT SET**  
12.27.19

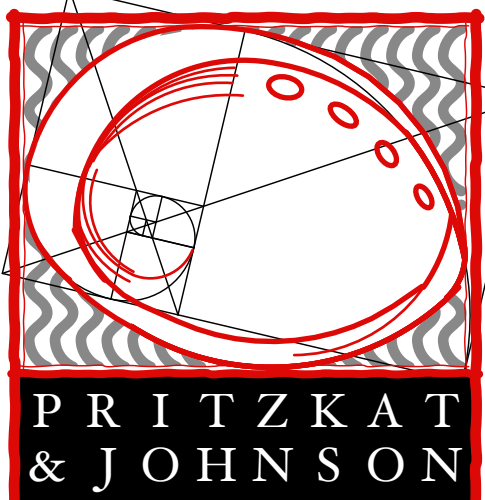
**REVISED:**  
02.15.21

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE 'PERMIT SET' PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS

No.	Date	DESCRIPTION
1	03.09.20	BWY MODS
2	02.10.21	LANDSCAPE MODS

A.6.I



**PRITZKAT & JOHNSON**  
ARCHITECTS  
www.pritzkatjohnson.com

MILES E. PRITZKAT  
ARCHITECT  
KEITH B. JOHNSON  
ARCHITECT

106 VISTA DEL MAR, SUITE A  
REDONDO BEACH,  
CALIFORNIA 90277

TEL: 310-375-7700  
FAX: 310-375-4375

ADDITION & REMODEL TO THE RESIDENCE OF:

**WADE & SUSAN WELCH**

421 Via Media Palos Verdes Estates California 90274

**PERMIT SET**  
12.27.19

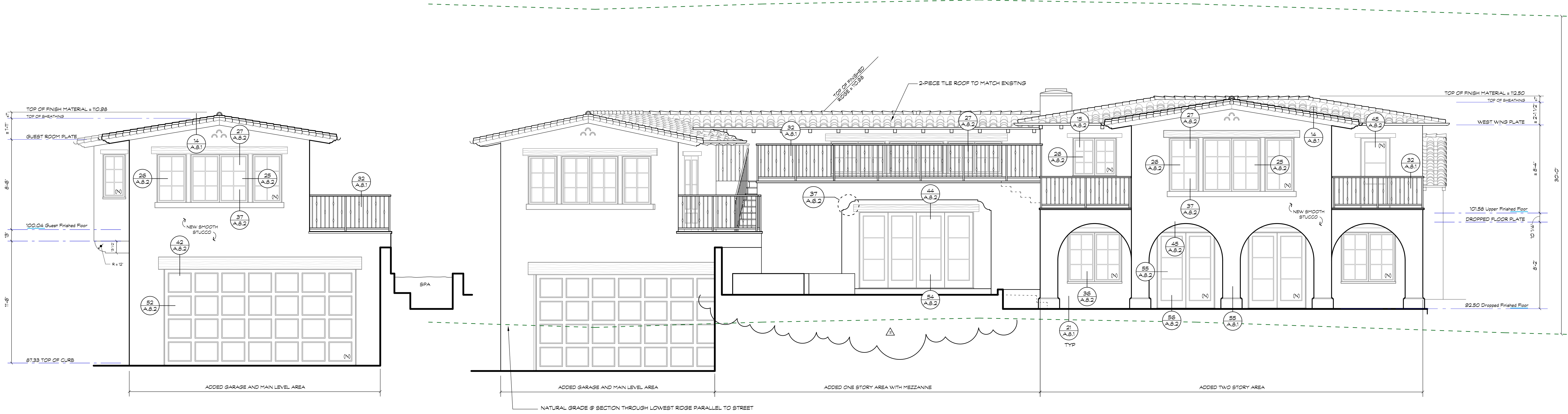
**REVISED:**  
02.15.21

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECT OR ENGINEER OR HAVE "PERMIT SET" PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS

No.	Date	DESCRIPTION
1	03.09.20	DRW MODS
2	02.10.21	LANDSCAPE MODS

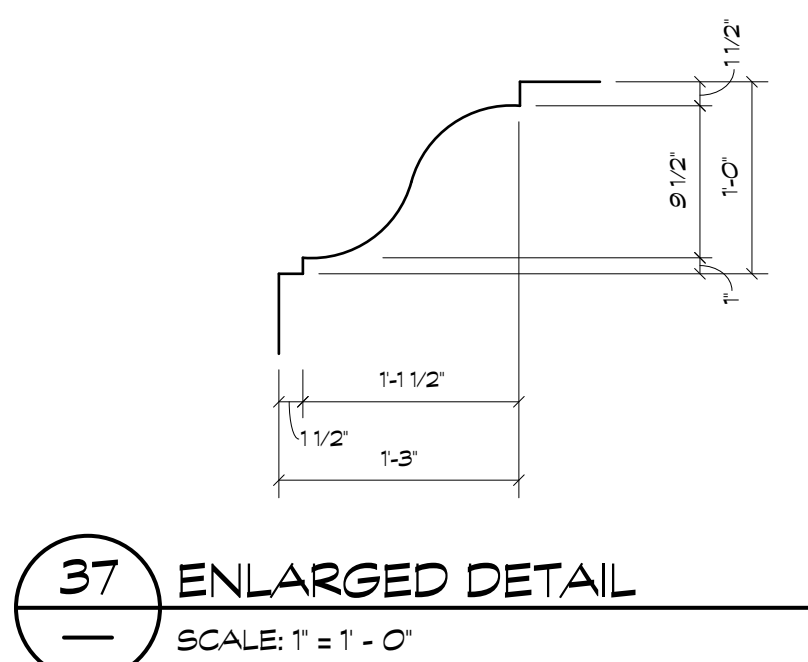
- PALOS VERDES ART JURY ELEVATION NOTES**
- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS "SNAP-IN/SNAP-OUT" MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS. SINCE WOOD MULLIONS MUST COVER THE GASKET, THE MAXIMUM MUNTIN SIZE FOR SINGLE PANEES SHALL BE NO GREATER THAN 1".
  - IF APPLICABLE SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1/2" IF APPLICABLE OR SHALL MATCH EXISTING. WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH.
  - ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.
- PALOS VERDES HOMES ASSOCIATION INSPECTION NOTES**
- CALL HOMES ASSOCIATION FOR FRAMING INSPECTION ONCE WINDOWS ARE INSTALLED
  - CALL HOMES ASSOCIATION FOR FINAL INSPECTION ONCE PROJECT IS COMPLETE.



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**A.6.2**