

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALOS VERDES ESTATES, CALIFORNIA, APPROVING A NEIGHBORHOOD COMPATIBILITY APPLICATION AND GRADING PERMIT APPLICATIONS AT 1828 Espinosa Circle.

WHEREAS, on June 5, 2018, an application was submitted for the property located at 1616 Espinosa Circle, Tract # 6889 Lot 2 Blk 1374, in the City of Palos Verdes Estates, County of Los Angeles, State of California, commonly known as 1616 Espinosa Circle, Palos Verdes Estates, California ("the Property"). The application sought approval of Neighborhood Compatibility, Miscellaneous, and Grading applications; and,

WHEREAS, on November 20, 2018, the Planning Commission conducted a public hearing on the matter, which hearing was held and properly noticed. At such hearing the Commission received and considered documentary evidence including, but not limited to, a staff report and site plans and received and considered oral testimony from the applicant and others. The Commission further received information and considered information regarding environmental review of the application and the determination that the project is categorically exempt from the California Environmental Quality Act; and,

WHEREAS, following the conclusion of the public discussion and thorough deliberation of the subject matter, the Planning Commission determined by a vote of 3-0-0, that Neighborhood Compatibility Application Number NC-1832-18 and Grading Application Number G-1832-18 should be conditionally approved as set forth herein below.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PALOS VERDES ESTATES, DOES HEREBY RESOLVE, AS FOLLOWS:

Section 1. Based upon the evidence presented, the Planning Commission hereby finds and determines as follows:

- 1. Each fact set forth in the recitals above is true and correct.
2. Each fact set forth in the memorandum for Agenda Item Number 4, Meeting Date, October 16, 2018, from Planning staff, presented to the Planning Commission on said date, is true and correct.

Section 2. Pursuant to the foregoing recitations, the following findings are made:

NEIGHBORHOOD COMPATIBILITY:

- 1. That the proposed development is designed and will be developed to preserve the greatest extent practicable the natural features of the land, including the existing topography and landscaping.
2. That the proposed development is designed and will be developed in a manner which will be reasonably compatible with the existing neighborhood in terms of scale of development and relation to surrounding residences and other structures.
3. That the proposed development is designed and will be developed in a manner which will preserve to the greatest extent practicable the privacy of persons residing on adjacent properties; and,
4. That the proposed development is designed and will be developed in a manner to the extent reasonably practicable so that it does not unreasonably interfere with neighbors' existing views.

GRADING APPLICATION:

- 1. The proposed grading will not unreasonably change the natural contours of the land;
2. The proposed grading will not create a hazard to the immediate or adjacent property; and
3. The proposed grading will not unreasonably interfere with the use and enjoyment of property by other persons in the City.

Section 3. Pursuant to the foregoing recitations and findings, the Planning Commission approves Neighborhood Compatibility Application Number NC-1832-18 and Grading Application Number G-1832-18, subject to the following conditions:

- 1. This approval is granted for the land or land use as described in the application and any attachments thereto, and as shown on the plot plan submitted, attached hereto as Exhibit A.
2. All buildings, fences, signs, roadways, parking areas, and other facilities or features shall be located and maintained as shown on the approved plans.
3. All buildings and structures shall be of the design as shown on the approved plans.
4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining final building inspection clearance and/or prior to obtaining any occupancy clearance. Deviation from this requirement shall be only by written consent of the Director of Planning.
5. Expiration of the Miscellaneous Application approval shall be governed by the provisions of the City of Palos Verdes Estates Municipal Code that are applicable to the expiration of the Neighborhood Compatibility approval.
6. All requirements of any law, ordinance, or regulation of the State of California, City of Palos Verdes Estates, and any other governmental entity shall be complied with.
7. This approval is subject to the applicant paying all fees and assessments to the City of Palos Verdes Estates, as required by Ordinance.
8. In the event the City determines that it is necessary to take legal action to enforce any of the provisions of these conditions, and such legal action is taken, the property owners, and their successors in interest, shall be required to pay any and all cost of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not resolved to a final judgment or is finally resolved, and the City should otherwise agree with the owners to waive said fees or any part thereof. The foregoing shall not apply if the property owner prevails in the enforcement proceedings.
9. The property owners, and their successors in interest, shall indemnify and defend the City of Palos Verdes Estates and its officers, employees and agents from and against all liability and costs relating to the City's actions concerning this project, including (without limitation) any award of litigation expenses in favor of any person or entity who seeks to challenge the validity of any of the City's actions or decisions in connection with this project. The City shall have the sole right to choose its counsel and property owners shall reimburse the City's expenses incurred in its defense of any lawsuit challenging the City's actions concerning this project.
10. An approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Department of Building and Safety must be obtained prior to construction, enlargement, renovation, conversion, or demolition of any building or structure within the City.
11. The owner shall provide for the planting of trees in the parkway adjacent to the site of the building in accordance with the recommendation of the Public Works Director or authorized designee.
12. The owner shall provide for the improvement of streets, alleys, walks, and drainage courses adjacent to the site of the building in conformance with standards and specifications of the City and plans approved by the City Engineer.
13. All pools/pools equipment and air conditioning units shall be contained in sound attenuating structures, subject to the approval of the City Engineer.
14. The owner shall provide a "Knock box" universal gate lock, if applicable, accessible to the police and fire departments. Applicants are advised to contact 1-800-552-5669 with any questions.
15. All non-standard encroachments shall be removed from any Parkway adjacent to the subject property, unless specifically approved otherwise by the Planning Commission.
16. The height of all new fireplace chimneys shall be the minimum allowable per the Building Code and the height of the chimney cap shall not exceed 30".
17. A landscape plan and related certification are required for all projects proposing new or altered landscaping that is 50 sq. ft. or more.
18. Any existing nonstandard encroachments within the right-of-way, including, but not limited to the existing rock wall, shall be removed.
19. Runoff from watershed tributary to the boundaries of the proposed project shall be intercepted and conveyed through the site to the street.
20. A Hollywood Berm shall be constructed, per city standards, along the frontage of the property.

APPROVED AND ADOPTED this 20th day of November, 2018.

CHAIRMAN

ATTEST: SECRETARY

STATE OF CALIFORNIA COUNTY OF LOS ANGELES CITY OF PALOS VERDES ESTATES

I, Jeffrey Graham, Planning Commission Secretary/Director of Planning and Building of the City of Palos Verdes Estates, California, do hereby certify that the foregoing Resolution No. PCB-2018-1094 was regularly approved and adopted at the regular meeting of the Planning Commission on the 20th day of November, 2018 by the following vote: to-wit:

AYES: COMMISSIONERS: Thomas Chung-Lazaro

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS: Walker, Colver

Jeffrey Graham Planning Commission Secretary/Director of Planning and Building

Fire Notes

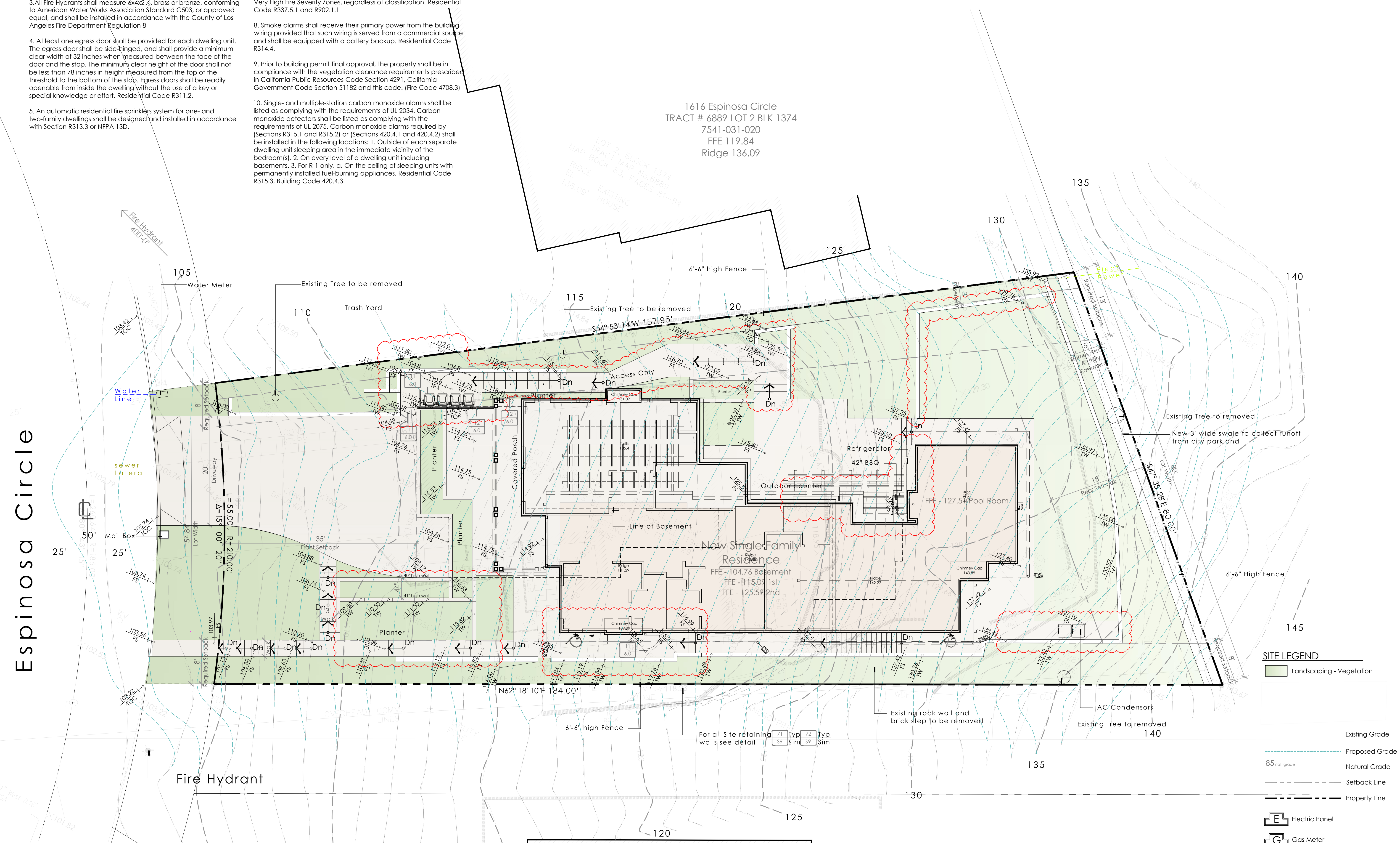
- 1. Approved building address numbers, building numbers or approved building identification shall be provided and maintained so as to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Fire Code 505.1
2. The Required fire flow for the hydrants at this location is 875 gpm, at 20 psi residual pressure, for a duration of 2 hrs over and above maximum daily domestic demand. Fire Code 507.3 and Appendix B105.1(1)
3. All Fire Hydrants shall measure 6x4x2 1/2, brass or bronze, conforming to American Water Works Association Standard C503, or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Department Regulation 8
4. At least one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a minimum clear width of 32 inches when measured between the face of the door and the stop. The minimum clear height of the door shall not be less than 78 inches in height measured from the top of the threshold to the bottom of the stop. Egress doors shall be readily operable from inside the dwelling without the use of a key or special knowledge or effort. Residential Code R312.2
5. An automatic residential fire sprinklers system for one- and two-family dwellings shall be designed and installed in accordance with Section R313.3 or NFPA 13D.
6. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served so as to be plainly visible and legible from the street fronting the property. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnections which other than as required for overcurrent protection. Building Code 907.2.11.4.
7. All roof coverings shall be class A as specified in Building Code 1505.1.1. Wood-shingle and wood shake roofs are PROHIBITED in Very High Fire Severity Zones, regardless of classification. Residential Code R337.5.1 and R902.1.1
8. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery backup. Residential Code R314.4.
9. Prior to building permit final approval, the property shall be in compliance with the vegetation clearance requirements prescribed in California Public Resources Code Section 4291, California Government Code Section 51182 and this code. (Fire Code 4708.3)
10. Single- and multiple-station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms required by Sections R315.1 and R315.2) or (Sections 420.4.1 and 420.4.2) shall be installed in the following locations: 1. Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s). 2. On every level of a dwelling unit including basements. 3. For R-1 only, a. On the ceiling of sleeping units with permanently installed fuel-burning appliances. Residential Code R315.3, Building Code 420.4.3.

Espinosa Circle

Fire Hydrant

1616 Espinosa Circle TRACT # 6889 LOT 2 BLK 1374 7541-031-020 FFE 119.84 Ridge 136.09

1624 Espinosa Circle TRACT # 6889 LOT 1 BLK 1482 7541-031-001 FFE 122.11

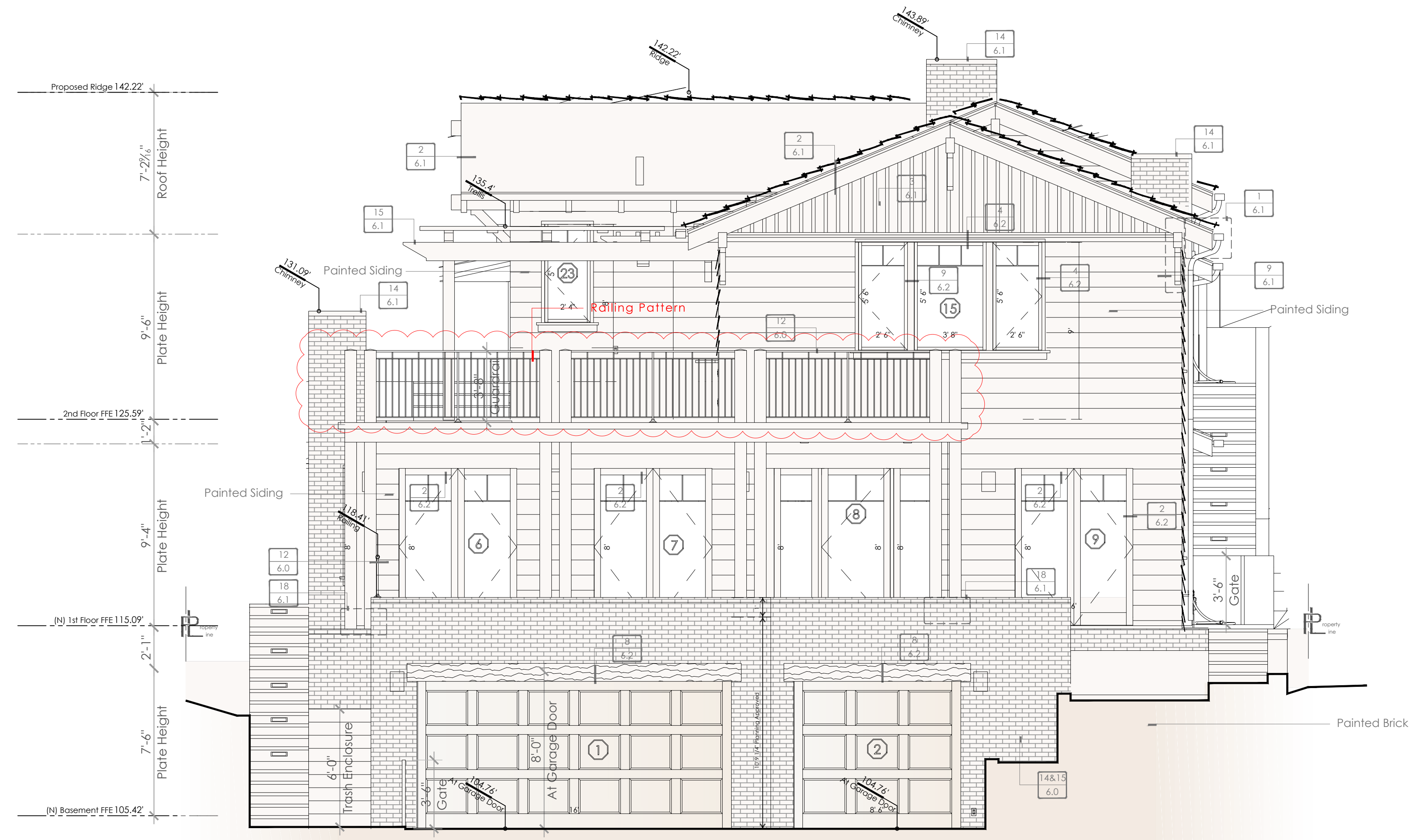


SITE LEGEND
Landscaping - Vegetation
Existing Grade
Proposed Grade
Natural Grade
Setback Line
Property Line
Electric Panel
Gas Meter
Water Meter

BUCHMANN DESIGN
746 4th st. hermosa beach office # 310-896-8331 office@buchmann-design.com

MILTON STREET RESIDENTIAL
1620 Espinosa Circle, Palos Verdes Estates, California 90274
LICENSED ARCHITECT
BRETT ALONIS BUCHMANN
C-32801
STATE OF CALIFORNIA

Site Plan
SP
1804
May 7, 2021
scale 1/8"=1'-0"



Front/ West Elevation
scale 1/4"=1'-0"

Elevation Notes

- Material Schedule**
- Siding** 1
TBD- Color •
TBD- Finish •
 - Flashing** 2
Copper gutter + downspouts - see roof plan
 - Lighting** 3
Sconce fixture - see electrical plan
 - Garage Door** 4
See door schedule - **Garage Door**
 - Other** 5
Tyvek building wrap or approved equal

Very Important Note

Framer and General Contractor Shall Verify Exact Elevation of Highest Roof Beam and Shall Notify Architect of this Elevation Prior to any Roof Framing. Adjustment May be Required with Respect to Height Limit.

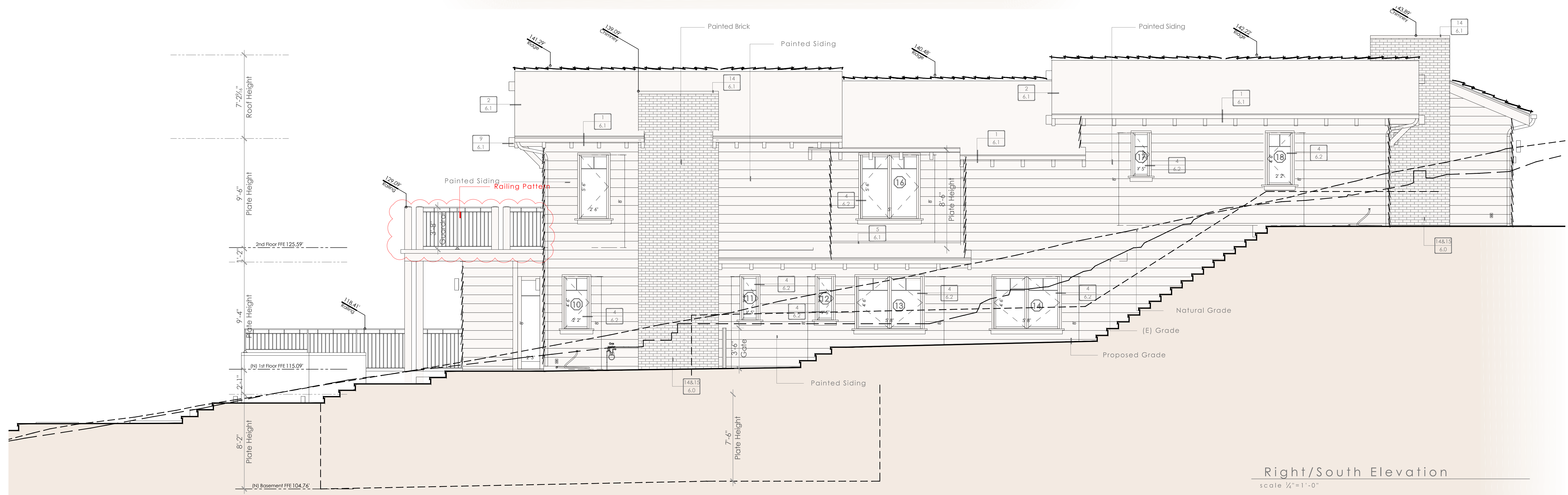
A Building Height Certificate is Required After Framing

Parapets, Satellite Antennae, Rails, Skylight, and Roof Equipment Must be within the Height Limit.

Provide 2-Layers of Grade D Paper under stucco at Wall Plywood (Shear Panels)

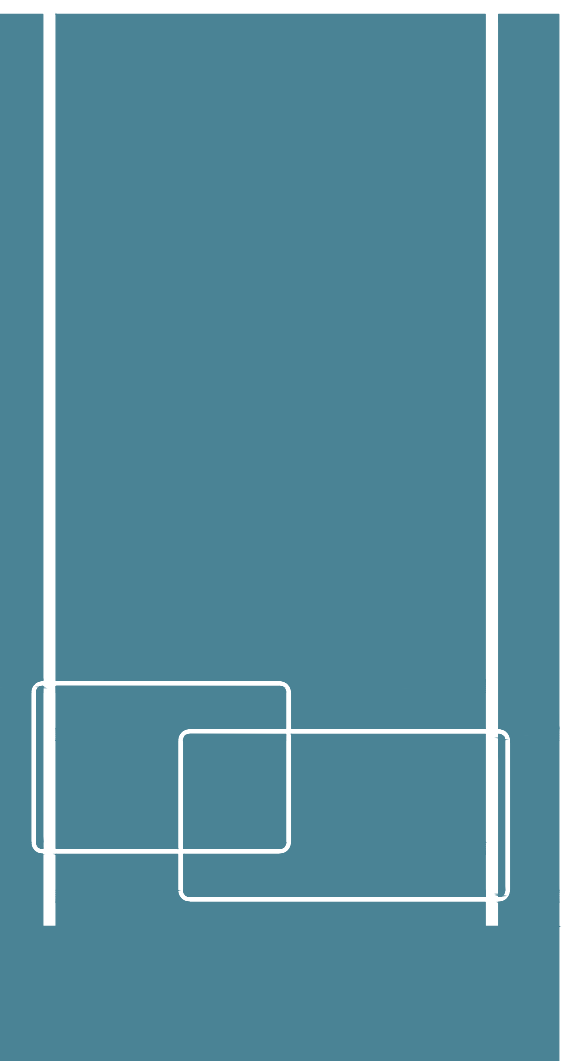
Elevation Notes

1. Stucco finish to be smooth, sand float finish, or submitted for approval
2. Muntins shall be an integral part of all windows and doors. "Snap-in/snap out" muntins not allowed.
3. Sill horn at all windows to extend a maximum of 2" to a minimum of 1 1/2" or shall match existing.
4. Any deviation from approved window and door muntin light sizes **must be submitted to full Art Jury for review and approval prior to construction.**
5. Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
6. Skylights shall be flat glass, curb mounted dark anodized frame, solar gray or solar bronze glass.



Right/South Elevation
scale 1/4"=1'-0"

Elevation Note



BUCHMANN DESIGN

746 4th st. hermosa beach
office # 310•896•8331
office@buchmann-design.com

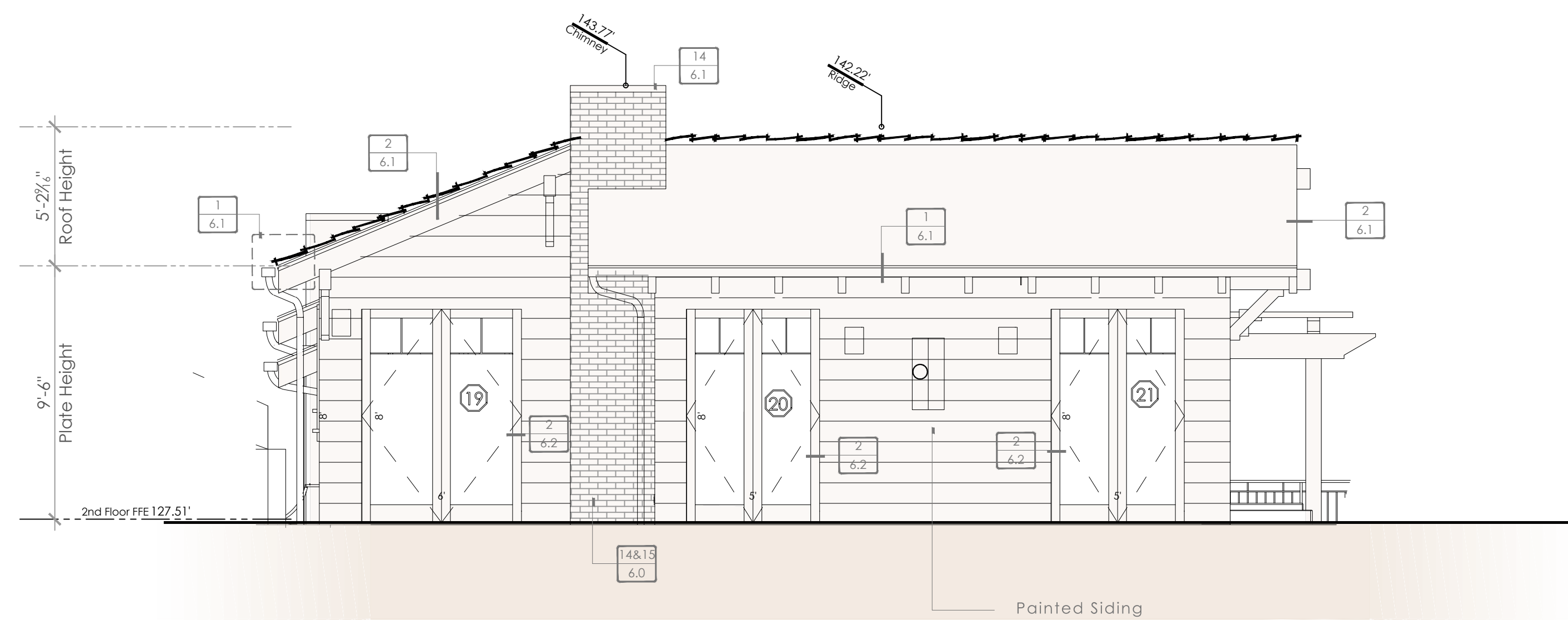
MILTON STREET RESIDENTIAL
1620 Espinosa Circle, Palos Verdes Estates, California 90274



Proposed Elevations

5.0

1804
May 7, 2021



Rear/East Elevation
scale 1/4"=1'-0"

Elevation Notes

- Material Schedule**
- Siding** 1
TBD- Color •
TBD- Finish •
 - Flashing** 2
Copper gutter + downspouts - see roof plan
 - Lighting** 3
Sconce fixture - see electrical plan
 - Garage Door** 4
See door schedule - **Garage Door**
 - Other** 5
Tyvek building wrap or approved equal

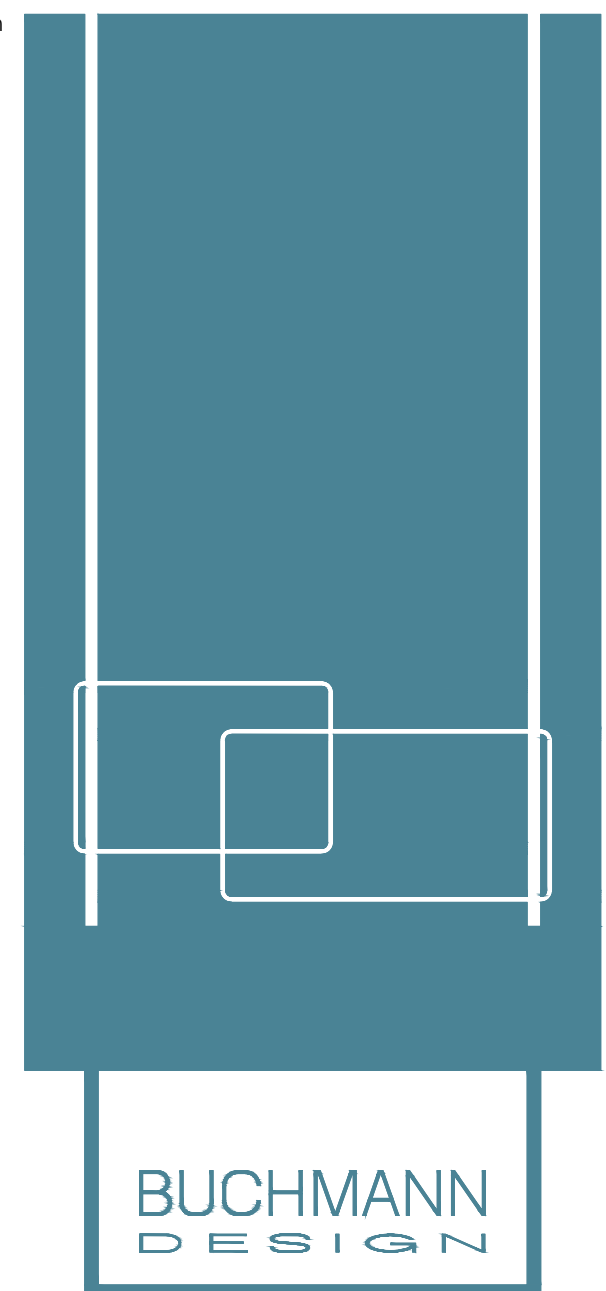
Very Important Note

Framer and General Contractor Shall Verify Exact Elevation of Highest Roof Beam and Shall Notify Architect of this Elevation Prior to any Roof Framing. Adjustment May be Required with Respect to Height Limit.

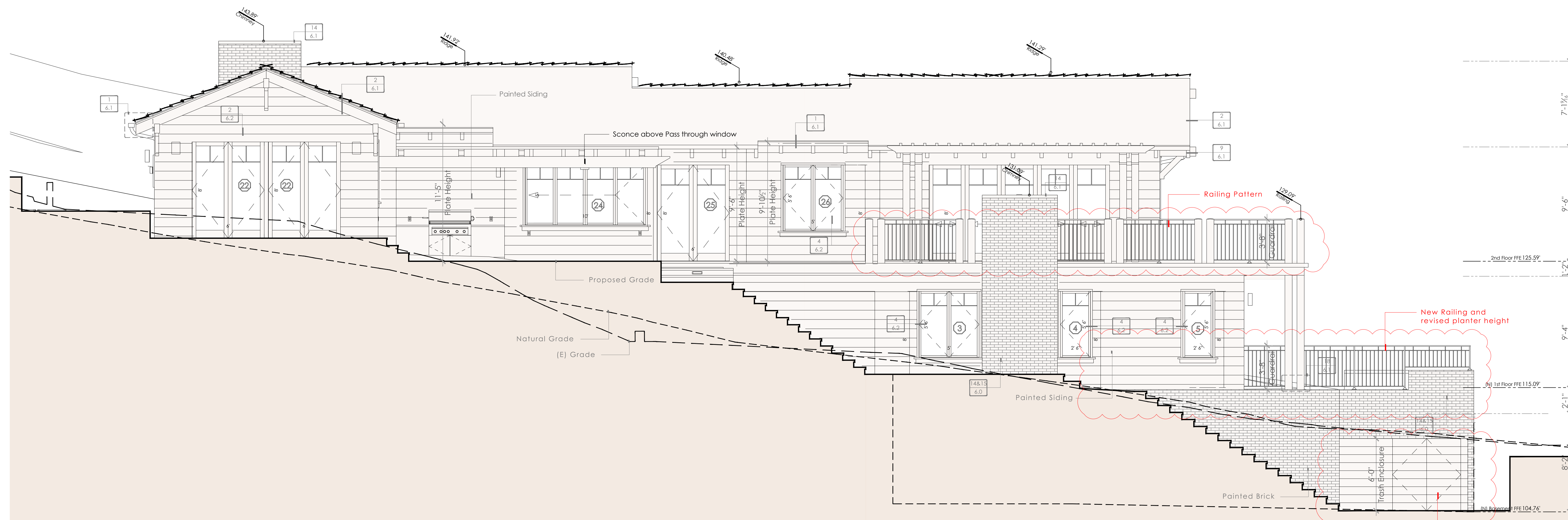
A Building Height Certificate is Required After Framing

Parapets, Satellite Antennae, Rails, Skylight, and Roof Equipment Must be within the Height Limit.

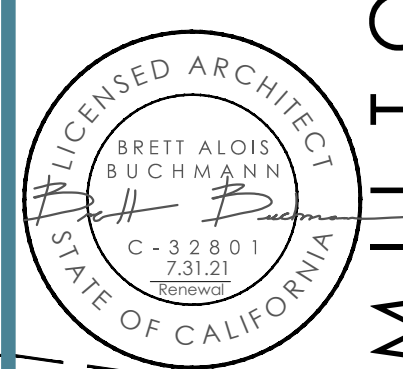
Provide 2-Layers of Grade D Paper under stucco at Wall Plywood (Shear Panels)



746 4th st. hermosa beach
office # 310•896•8331
office@buchmann-design.com



Left/North Elevation
scale 1/4"=1'-0"



MILTON STREET RESIDENTIAL
1620 Espinosa Circle, Palos Verdes Estates, California 90274

Proposed Elevations

5.1

1804
May 7, 2021