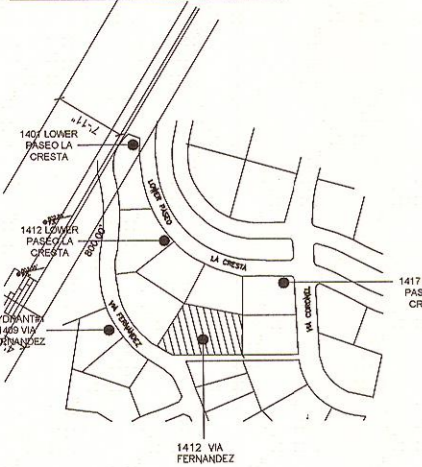


HYDRANT #	HYDRANT #1
HYDRANT #	396
LOCATION	1409 VIA FERNANDEZ
DISTANCE FROM NEAREST PL	250'
HYDRANT SIZE	6" STEAMER
SIZE OF WATER MAIN	8"
STATIC PSI	87
RESIDUAL PSI	60
FIRE FLOW AT 20 PSI	3969
DURATION	2.5 HOURS
FLOW TEST DATE	5/9/08 10:30



FIRE HYDRANT LOCATIONS  
NTS

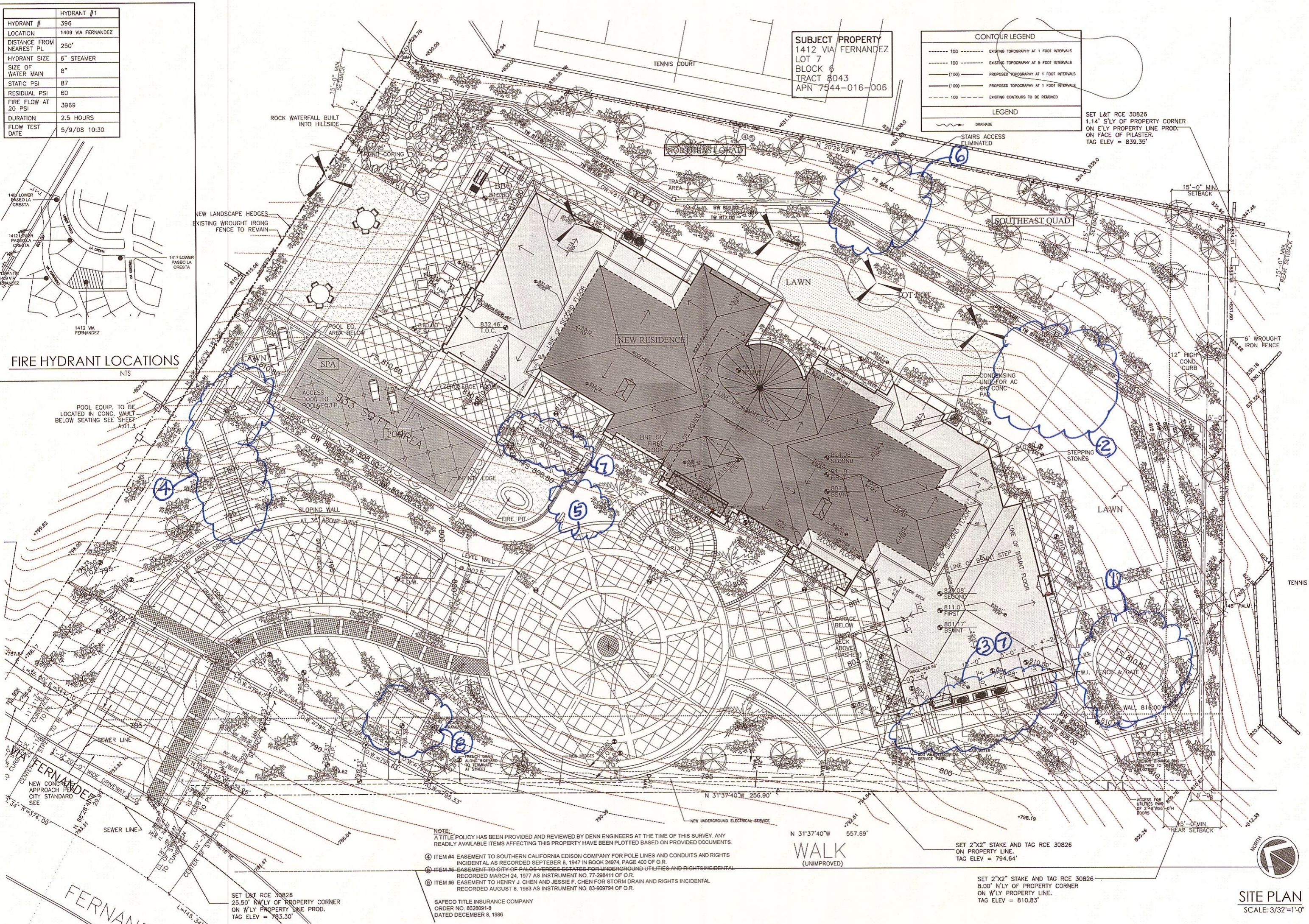
**SUBJECT PROPERTY**  
1412 VIA FERNANDEZ  
LOT 7  
BLOCK 6  
TRACT 8043  
APN 7544-016-006

CONTOUR LEGEND	
---	EXISTING TOPOGRAPHY AT 1 FOOT INTERVALS
---	EXISTING TOPOGRAPHY AT 5 FOOT INTERVALS
---	PROPOSED TOPOGRAPHY AT 1 FOOT INTERVALS
---	PROPOSED TOPOGRAPHY AT 5 FOOT INTERVALS
---	EXISTING CONTOURS TO BE REMOVED

LEGEND	
---	DRAINAGE
---	STAIRS ACCESS ELIMINATED

SET L&T RCE 30826  
1.14' S'LY OF PROPERTY CORNER  
ON E'LY PROPERTY LINE PROD.  
ON FACE OF PILASTER.  
TAG ELEV = 839.35'



- 1 10-30-17 RELOCATED AC CONDENSING UNITS, REVISED TRASH AREA
- 2 04-30-18 RELOCATED POOL EQUIPMENT
- 3 10-18-18 RELOCATED AC CONDENSING UNITS AND TRASH AREA, REMOVED STAIRS
- 4 12-21-18 RELOCATED AC CONDENSING UNITS
- 5 01-03-19 ADDED AC CONDENSING UNIT, REVISED STAIRS AND WALLS, ADDED W.I. FENCE/GATE
- 6 08-14-19 ADDED GAS METER & REVISED STAIRS, 07-23-19 REVISED PLANTERS & ADDED CONC. LANDING & REVISED STAIRS

TOMARO DESIGN GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THIS PLAN. THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY OTHER PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TOMARO DESIGN GROUP.

**NOTE:**  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

- ④ ITEM #4 EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR POLE LINES AND CONDUITS AND RIGHTS INCIDENTAL AS RECORDED SEPTEMBER 8, 1947 IN BOOK 24974 PAGE 400 OF O.R.
- ④ ITEM #5 EASEMENT TO CITY OF PALOS VERDES ESTATES FOR UNDERGROUND UTILITIES AND RIGHTS INCIDENTAL RECORDED MARCH 24, 1977 AS INSTRUMENT NO. 77-298411 OF O.R.
- ④ ITEM #6 EASEMENT TO HENRY J. CHEN AND JESSIE F. CHEN FOR STORM DRAIN AND RIGHTS INCIDENTAL RECORDED AUGUST 8, 1983 AS INSTRUMENT NO. 83-909794 OF O.R.

SAFECO TITLE INSURANCE COMPANY  
ORDER NO. 8628091-8  
DATED DECEMBER 8, 1986

SET L&T RCE 30826  
25.50' N'LY OF PROPERTY CORNER  
ON W'LY PROPERTY LINE PROD.  
TAG ELEV = 783.30'

N 31°37'40"W 557.69'  
**WALK**  
(UNIMPROVED)

SET 2"x2" STAKE AND TAG RCE 30826  
ON PROPERTY LINE.  
TAG ELEV = 794.64'

SET 2"x2" STAKE AND TAG RCE 30826  
8.00' N'LY OF PROPERTY CORNER  
ON W'LY PROPERTY LINE.  
TAG ELEV = 810.83'





# TOMARO

February 17, 2021

Brenna Wengert  
City Planner  
City of Palos Verdes Estates  
340 Palos Verdes Drive West  
Palos Verdes Estates, CA 90274

Re: Chen Residence, 1412 Via Fernandez

Dear Brenna:

Please accept the revised drawings for the above-referenced project depicting the following changes:

1. Removed gazebo at rear yard
2. Removed sports court at rear yard
3. Relocated A.C. condensing units by garage
4. Adjusted location of pool access stair on north side of lot
5. Removed stair by pool fire pit area
6. Removed stair at rear up to east side of lot
7. Miscellaneous flatwork and steps altered slightly
8. Transformer added

Please let me know if you have any questions regarding this matter.

Sincerely,

Louie Tomaro, A. I. A., LEED AP  
Tomaro Architecture, Incorporated

LMT/atm

Attachment

Mydocuments/word/letters/chen-via Fernandez city changes-02-09-21.doc

03-24-2021 REVISED  
TRANSFORMER WALLS AND  
ADDED ELEVATIONS

NOTE:  
A TITLE POLICY HAS BEEN  
RECORDED FOR THIS PROJECT

④ ITEM #4 EASEMENT TO  
TRANSFORMER WALLS AND  
ADDED ELEVATIONS

⑤ ITEM #5 EASEMENT  
RECORDED

⑥ ITEM #6 EASEMENT  
RECORDED

**CHEN**  
RESIDENCE  
1412 VIA FERNANDEZ  
PALOS VERDES ESTATES  
CALIFORNIA 90274

STAMP

REVISIONS

- 1
- 2
- 3
- 9 03-24-2021 REVISED  
TRANSFORMER WALLS &  
ADDED ELEVATIONS

**PARTIAL SITE PLAN**  
SCALE: 1/8"=1'-0"

PROJECT NO.

14015  
3/24/2021 2:21:06 PM  
PRINT DATE

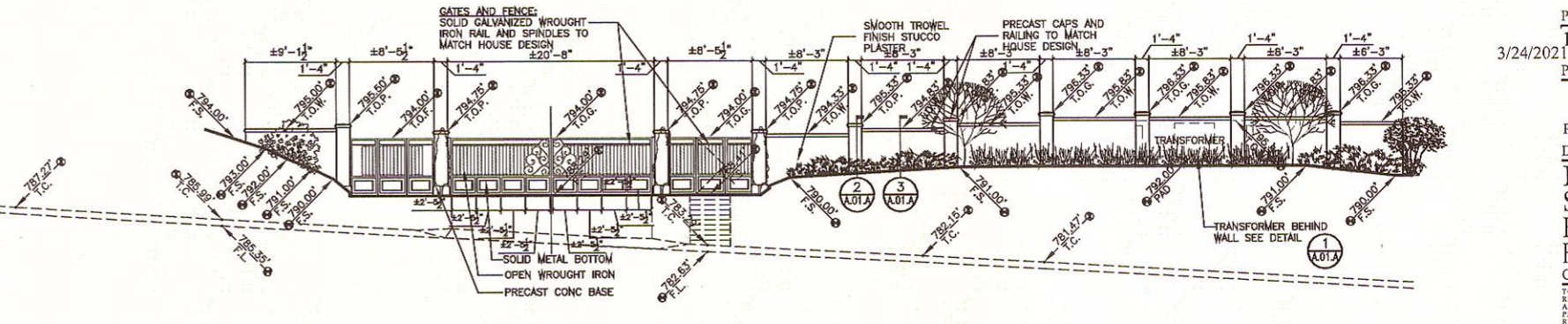
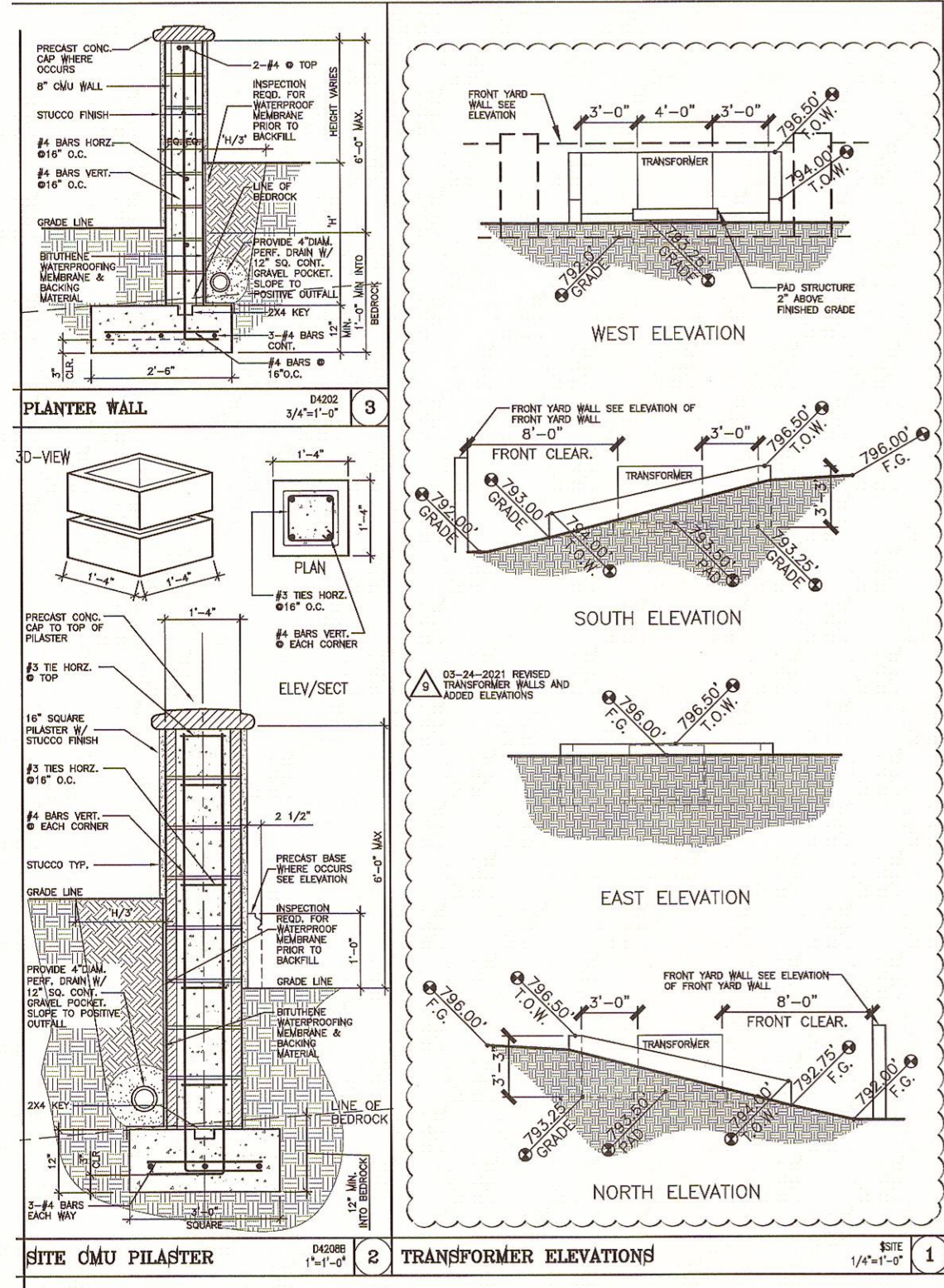
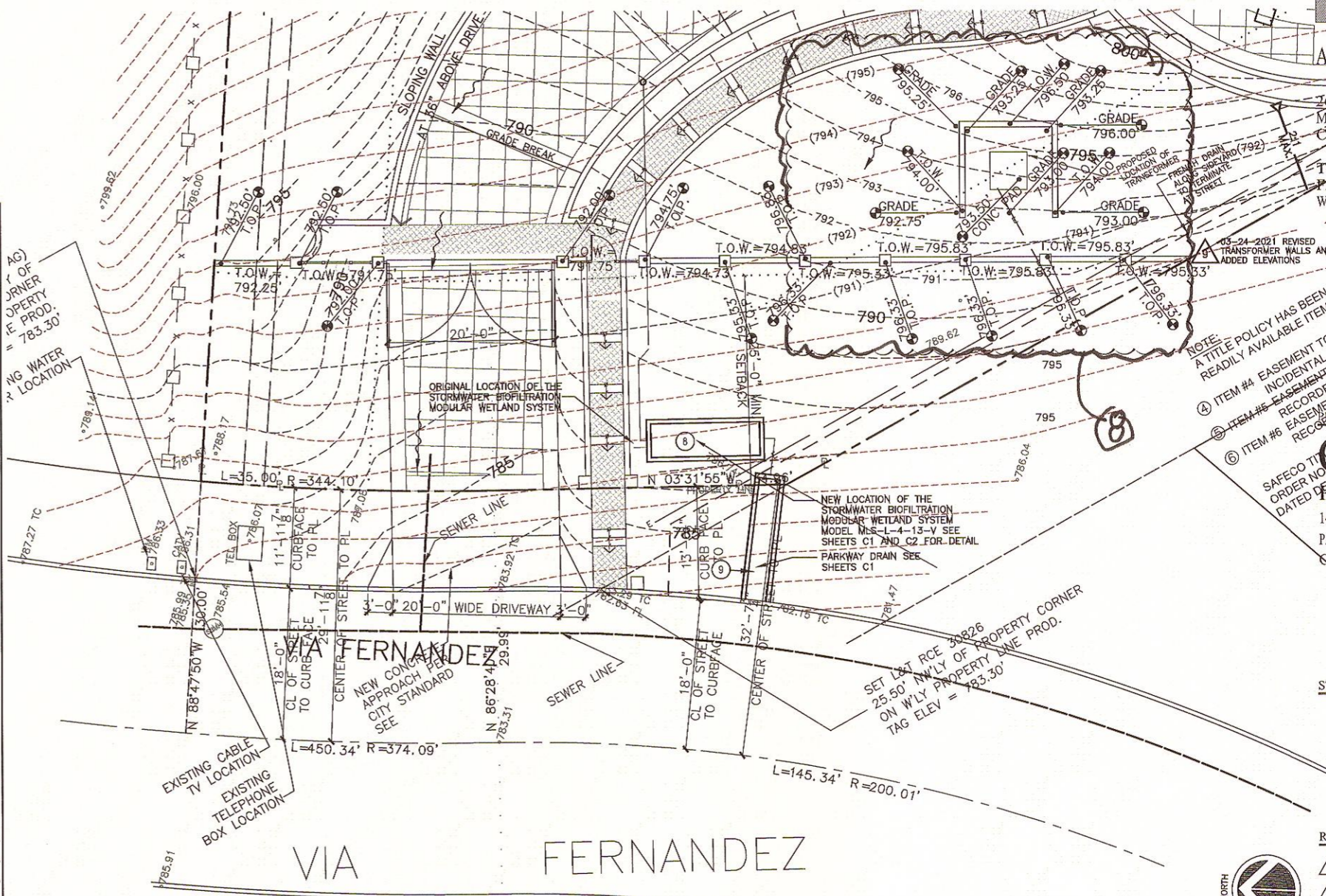
PROPOSED  
DRAWING

**PARTIAL  
SITE PLAN &  
ELEVATION OF  
FRONT YARD WALL**  
COPYRIGHT

TOMARO DESIGN GROUP EXPRESSLY  
RESERVES ITS COMMON LAW COPYRIGHT  
AND OTHER PROPERTY RIGHTS IN THESE  
PLANS. THESE PLANS ARE NOT TO BE  
REPRODUCED OR COPIED IN ANY  
FORM OR MANNER WHATSOEVER, NOR ARE  
THEY TO BE ASSIGNED TO ANY THIRD  
PARTY WITHOUT FIRST OBTAINING THE  
EXPRESS WRITTEN PERMISSION AND  
CONSENT OF TOMARO DESIGN GROUP

SHEET NO.

**A.01.A**



**ELEVATION OF FRONT YARD WALL**  
SCALE: 1/8"=1'-0"

**SITE OMU PILASTER** D4208B 1/4"=1'-0" 2  
**TRANSFORMER ELEVATIONS** 1/4"=1'-0" 1