

Master Suite

- 50 48" fireplace by "Fire Rock B-Vent Model" ESR-2599 - gas appliance only - $\frac{5}{3/4}$ sim
- 51 Provide 20" minimum stone hearth - consult developer about raised or flush condition
- 52 Outline of built in cabinetry per developer
- 53 Cased out opening - furr down to 8'-0"
- 54 Full height linen cabinet per owner
- 55 Provide 1x T&G at ceiling
- 56 Outline of floor/deck above
- 57 Consult designer about furr down areas if needed for ducting - Use $\frac{10}{A12}$
- 58 Recess sliding french doors 6" as shown
- 59 Base cabinet with countertop against pony wall
- 60 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 61 Outline of upper cabinet above water closet
- 62 Provide knee space at this location for possible vanity
- 63 Consult developer for closet shelving and storage
- 64 Tiled shower, glass enclosure, and seat as shown - tile all the way to the ceiling or 6' min. height
- 65 Shampoo shelf located 5' off of floor
- 66 Outline of stand alone tub per developer
- 67 Outline of brick veneer - see $\frac{2}{A12}$ $\frac{3}{A12}$
- 68 Under counter refrigerator
- 69 Provide access door to crawl space at this location
- 70 See detail $\frac{6}{A13}$ for baseboards at this floor, typical
- 71 Glass door to shower shall swing out from interior of shower - see plans
- 72 Outline of dryer vent exhaust

Stairs, Lower Hall, Recreation Room Crawl Space

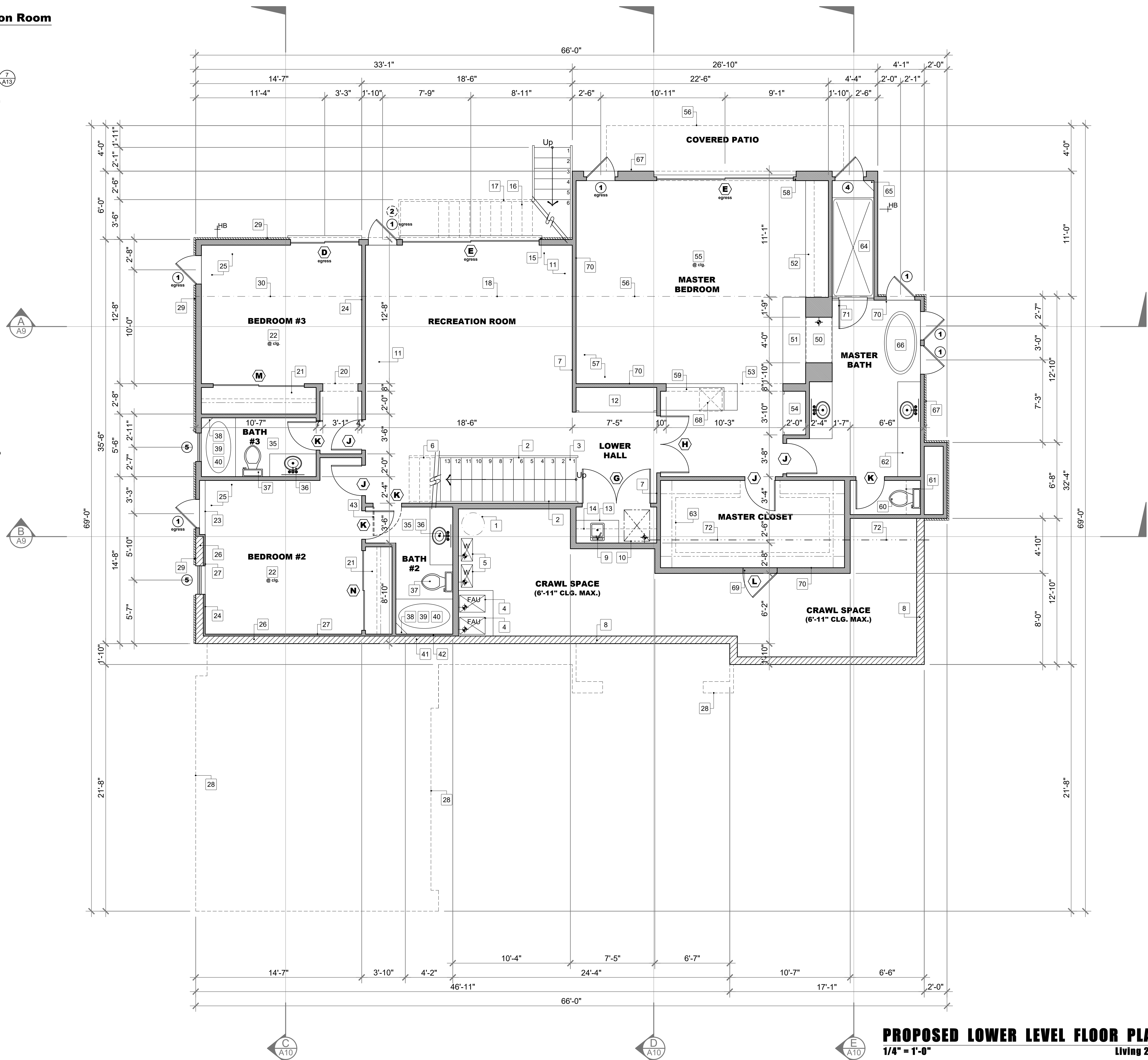
- 1 Provide sewage ejector pump in floor at this location
- 2 Provide 34" to 38" tall handrail per $\frac{1}{A13}$ $\frac{7}{A13}$
- 3 See $\frac{4}{A13}$ and $\frac{5}{A13}$ for stair construction
- 4 Forced air unit on 18" tall raised platform
- 5 Tankless water heater location
- 6 Outline of stairs above - Provide one hour construction per $\frac{5}{A12}$
- 7 See detail $\frac{6}{A13}$ for baseboards at this floor, typical
- 8 Outline of retaining wall
- 9 Outline of laundry
- 10 Stacked washer and dryer per owner - vent exhaust to outside air
- 11 Consult designer about furr down areas if needed for ducting - Use $\frac{10}{A12}$
- 12 Full height linen cabinet
- 13 Base cabinets with countertop per owner
- 14 Provide upper cabinetry or shelving per owner
- 15 Outline of brick veneer - see $\frac{2}{A12}$ $\frac{3}{A12}$
- 16 Exterior metal staircase to be designed by others (deferred submittal) - provide shop drawings and calculations to building official before ordering
- 17 42" tall glass guardrail designed by others (deferred submittal) provide shop drawings and calculations to building official before ordering
- 18 Outline of floor/deck above

Bedroom #2 and #3

- 20 Outline of cased out opening - consult client about finish treatment - furr down to 8'-0"
- 21 Wardrobe closet with pole and shelf
- 22 Consult developer about 1x T&G at ceiling
- 23 Wood cap at this window
- 24 See detail $\frac{6}{A13}$ for baseboards at this floor, typical
- 25 Consult designer about furr down areas if needed for ducting - Use $\frac{10}{A12}$
- 26 Outline of retaining wall
- 27 Provide 2x pressure treated studs against retaining wall - can be placed flat if necessary
- 28 Outline of garage/entry above
- 29 Outline of brick veneer - see $\frac{2}{A12}$ $\frac{3}{A12}$
- 30 Outline of floor/deck above

Bath #2 and #3

- 35 If necessary, furr down ceiling to 8'-3" to accommodate HVAC
- 36 Base cabinet with countertop and sink selected by owner - provide mirror above
- 37 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 38 Shampoo shelf located 5' off of floor
- 39 Cast iron tub per owner
- 40 Tiled shower/tub and glass enclosure - tile to ceiling or min. 6' in height.
- 41 Outline of retaining wall
- 42 Provide 2x pressure treated studs against retaining wall - can be placed flat if necessary
- 43 Possible door at this location - consult owner



PROPOSED LOWER LEVEL FLOOR PLAN
 1/4" = 1'-0"
 Living 2,035 sq ft

DATE
SIGNATURE
JOSEPH FOURNIER REVISED
1
2
3
4
5
PROJECT # 2018 - 23

Family Room, Home Office, Dining Room, Living Room, Stairs, and Entry

- 50 Volume ceilings - see sections
- 51 Outline of roof above
- 52 Outline of lower cabinetry
- 53 Bar sink per owner
- 54 Provide desk space per owner with upper cabinets as shown
- 55 Provide cased out opening - furr down to 8'-0"
- 56 Outline of brick veneer - See (2/A12) (3/A12)
- 57 48" fireplace by "Fire Rock B-Vent Model" ESR-2599 - gas appliance only (5/A14)
- 58 20" wide stone hearth
- 59 Provide shelf and pole at coat closet
- 60 See detail (6/A13) for baseboards at this floor, typical
- 61 Provide 42" tall guardrail per (1/A14)
- 62 Provide 42" tall pony wall to receive cabinetry
- 63 See (3/A13) for stair construction
- 64 Provide 34" to 38" tall handrail per (1/A13) (7/A13)
- 65 Outline of transom windows above doors
- 66 Outline of shelf behind transom windows
- 67 Pocket french sliders as shown

Deck and Covered Porch

- 75 Provide stone or tile at deck - See (1/A12) for waterproofing
- 76 Slope deck surface to deck drains typ. 1/4" per ft. minimum. Provide scupper overflow 2" above fin. flr. & align w/ drain - See detail (6/A12) (8/A12)
- 77 Provide 42" tall glass guardrail per (2/A14) (3/A14)
- 78 Metal stair designed by others - provide shop drawings to building inspector
- 79 Outline of opening above - see sections for beam placement

2 Car Garage

- 1 Outline of roof above
- 2 Recess garage door as shown
- 3 Outline of furring above garage door
- 4 Pop out window - no floor area below
- 5 Slope concrete slab to garage door minimum 2%
- 6 Outline of brick veneer - See (2/A12) (3/A12)
- 7 5/8" typ. x gypboard at ceiling - See (5/A12)
- 8 5/8" typ. x gypboard finish between garage and living areas - See detail (5/A12)
- 9 Provide 2 - 7" risers and 1 - 11" tread at this location
- 10 Outline of garage door in open position
- 11 Outline of garage door

Guest Bedroom

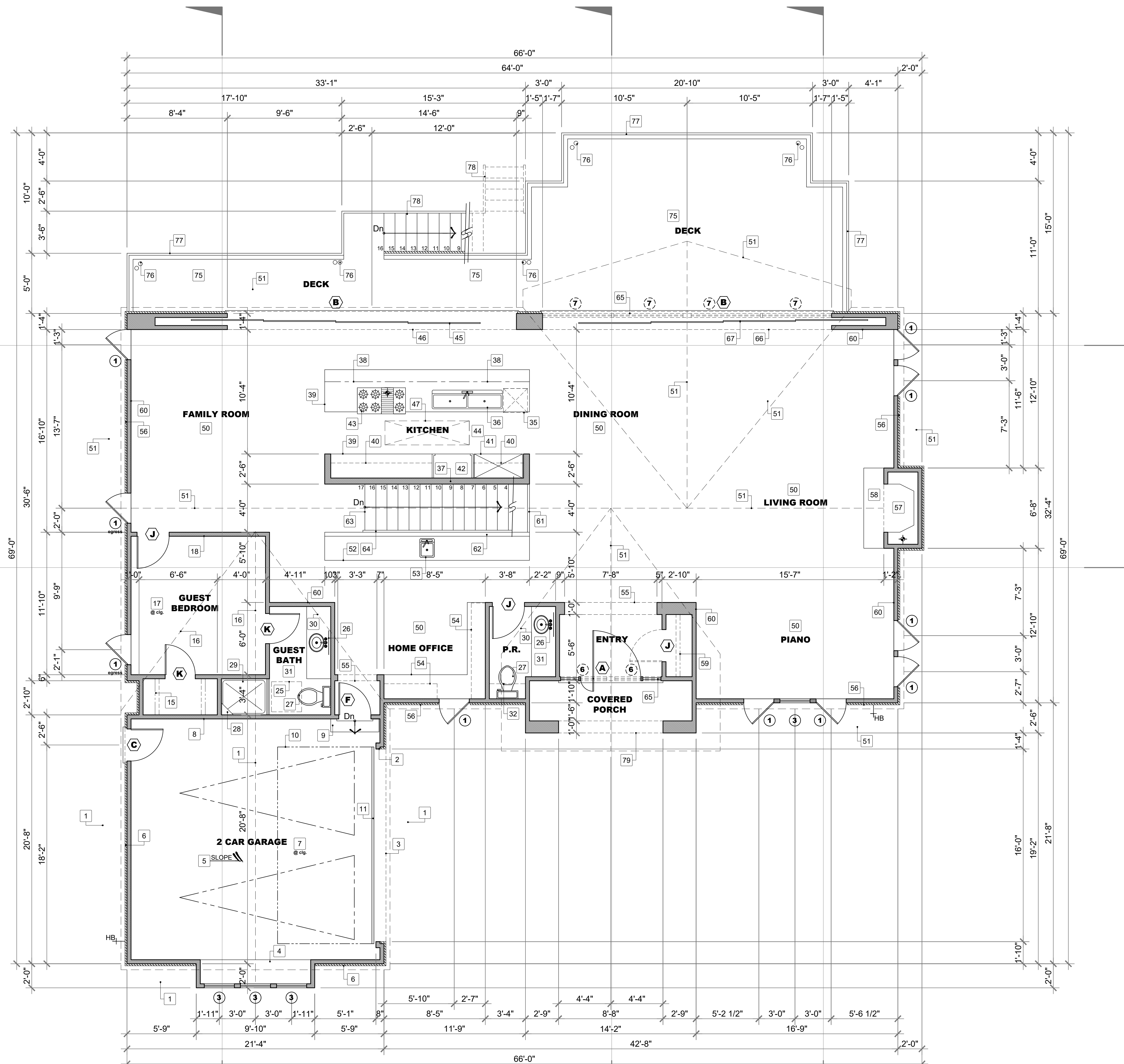
- 15 Walk in closet with pole and shelf
- 16 Outline of roof above
- 17 Provide 1x T&G at flat ceiling
- 18 See detail (6/A13) for baseboards at this floor, typical

Guest Bath and Powder Room

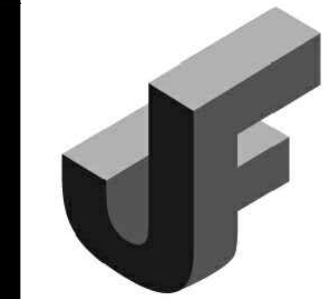
- 25 See detail (9/A12) for 30" square attic access
- 26 Base cabinet with countertop and sink selected by owner - provide mirror above
- 27 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 28 Shampoo shelf located 5' off of floor
- 29 Tiled shower, seat, and glass enclosure as shown - tile shower to ceiling - 6" Min. ht.
- 30 Outline of roof above
- 31 Flat ceiling in this room
- 32 Possible upper cabinet above water closet

Kitchen

- 35 Outline of dishwasher per developer
- 36 Outline of six foot wide sink per owner
- 37 Provide 9' to 10' tall wall - does not reach ceiling
- 38 Provide knee space at island for bar stools
- 39 36" tall lower cabinets with countertops per developer
- 40 Outline of upper cabinets
- 41 Provide 48" wide refrigerator/freezer with water line
- 42 Provide full height pantry with pull out drawers
- 43 Provide 48" wide range with double oven and ventilation hood per developer
- 44 Volume ceilings - see sections
- 45 Pocket french sliders as shown
- 46 Outline of interior shelf above doors
- 47 Outline of 2' x 7' skylight - see (5/A14)

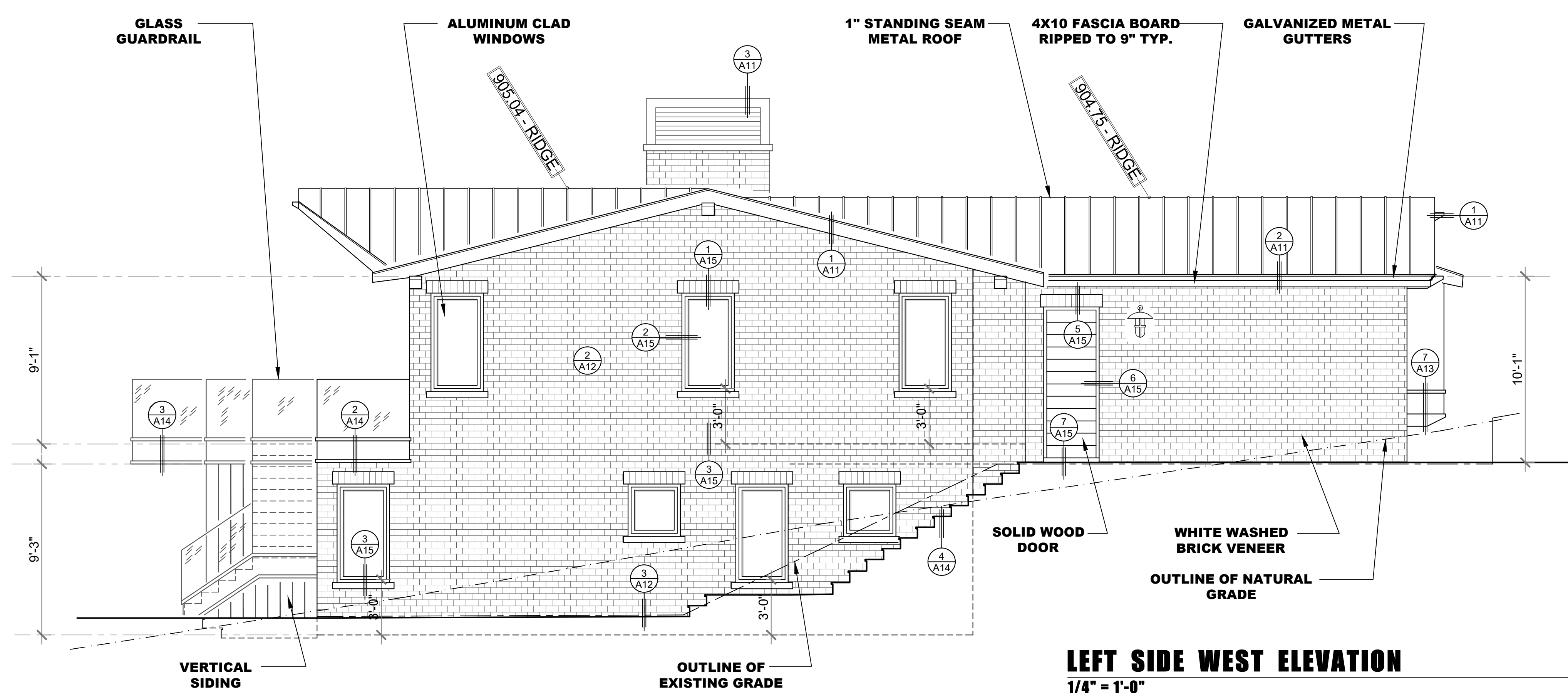


PROPOSED UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0"
 Living 1,992 sq ft Garage 427 sq ft

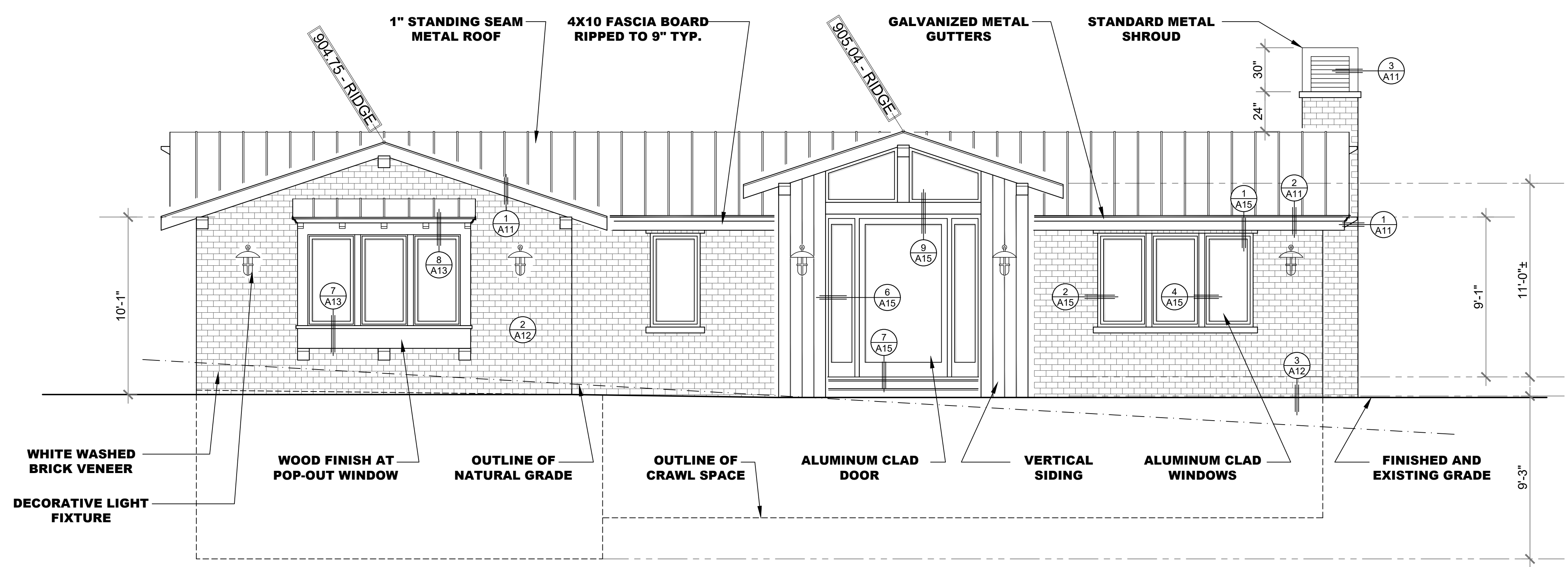


JOSEPH FOURNIER DESIGN
 362 TERMINO AVENUE,
 LONG BEACH, CA 90814
 PHONE:
 310-617-4856
 INSTAGRAM:
 JFOURNIERDESIGN
 WEBSITE:
 WWW.JFOURNIERDESIGN.COM

GOLNAZ ESLAMI
 2245 Via La Brea, Palos Verdes Estates



LEFT SIDE WEST ELEVATION
 1/4" = 1'-0"



FRONT SOUTH ELEVATION
 1/4" = 1'-0"

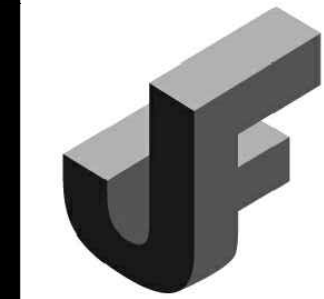
ART JURY EXTERIOR ELEVATION NOTES

- Muntins shall be an integral part of all windows and doors. "Snap-in/snap out" muntins are not allowed. **SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW.** Muntins may be no greater than 1 1/4" maximum on windows with insulated glass, since wood muntins must cover the gasket. The maximum muntin size for single panes shall be no greater than 1". Note on window schedule manufacturer and material of window. Muntin detail to be included on detail sheet.
- "Sill horn at all windows to extend a maximum of 2" to a minimum of 1 1/2" or shall match existing." Provide drawn detail indicating extended sill. Wood door stiles to be a maximum of 4 1/2" width.
- Any deviation from approved window and door muntin light sizes **MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**
- Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
- Skylight shall be flat glass, curb mounted dark anodized frame, solar gray or solar bronze glass.
- Submit samples of all materials for Art Jury review prior to purchase.
- Submit separate landscape plan prior to framing.

RIDGE HEIGHT NOTE:
 Finished ridge height shall not exceed the elevation shown on the plot plan (Allow for thickness of roofing materials). The ridge height shall be certified by a licensed surveyor on a form provided by the City prior to approval of the roof framing/sheathing by the Palos Verdes Estates Building and Safety Department.

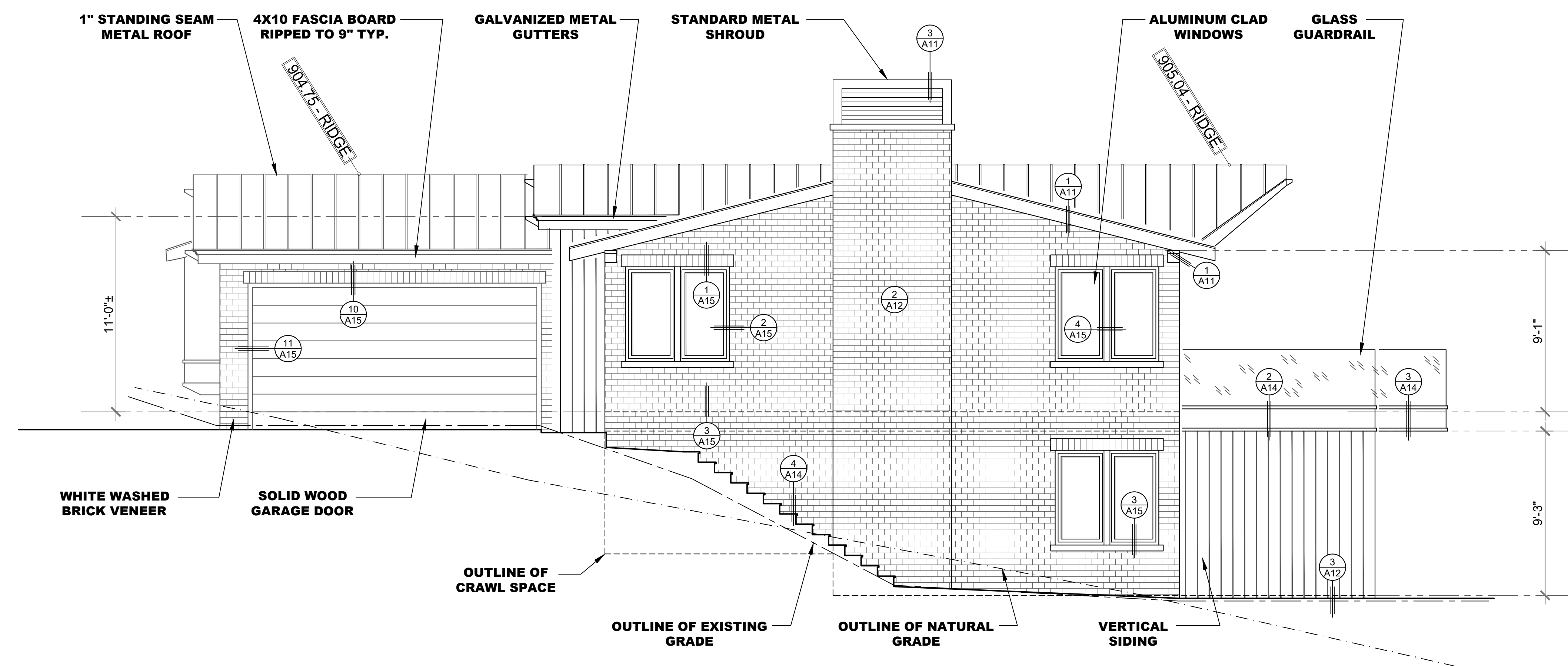
DATE
SIGNATURE
JOSEPH FOURNIER REVISED
1
2
3
4
5
PROJECT # 2018 - 23

A7

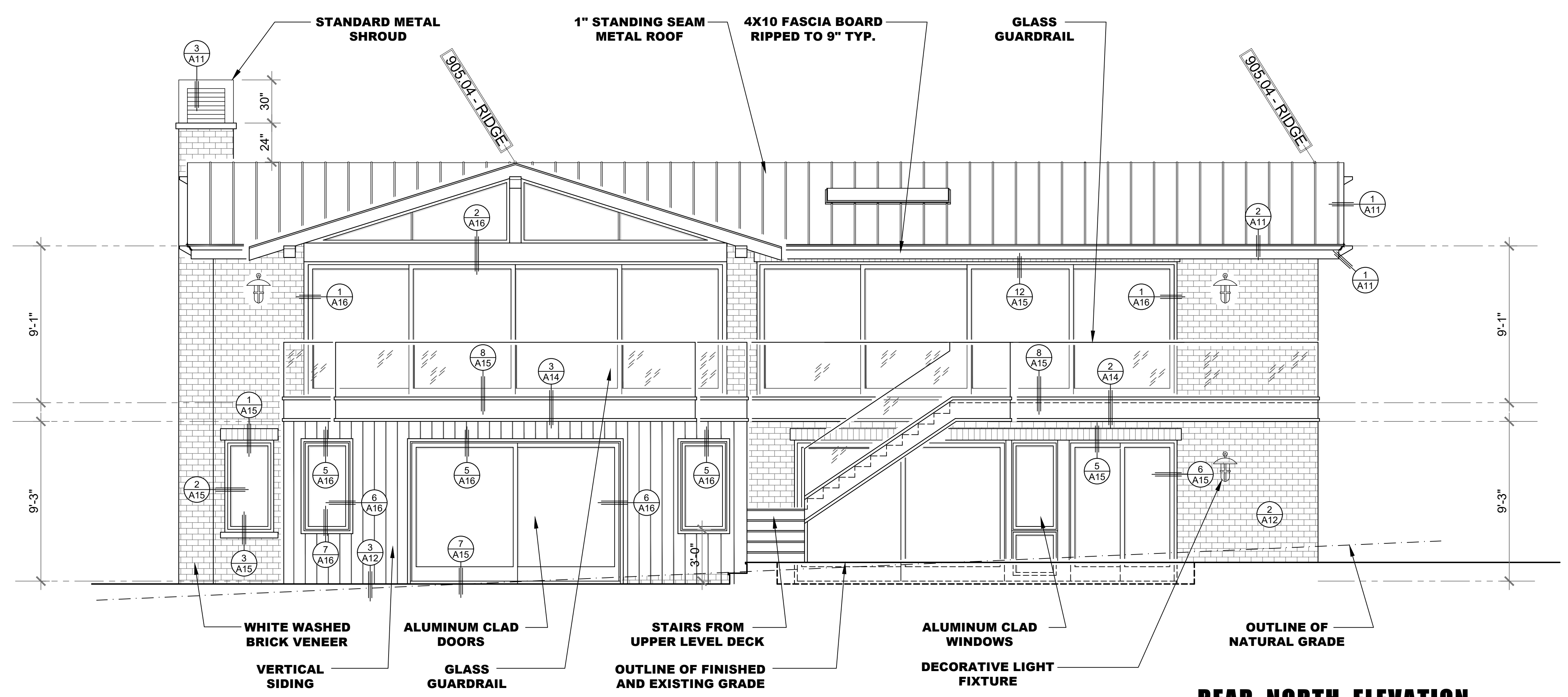


JOSEPH FOURNIER DESIGN
 362 TERMINO AVENUE,
 LONG BEACH, CA 90814
 PHONE:
 310-617-4856
 INSTAGRAM:
 JFOURNIERDESIGN
 WEBSITE:
 WWW.JFOURNIERDESIGN.COM

GOLNAZ ESLAMI
 2245 Via La Brea, Palos Verdes Estates



RIGHT SIDE EAST ELEVATION
 1/4" = 1'-0"



REAR NORTH ELEVATION
 1/4" = 1'-0"

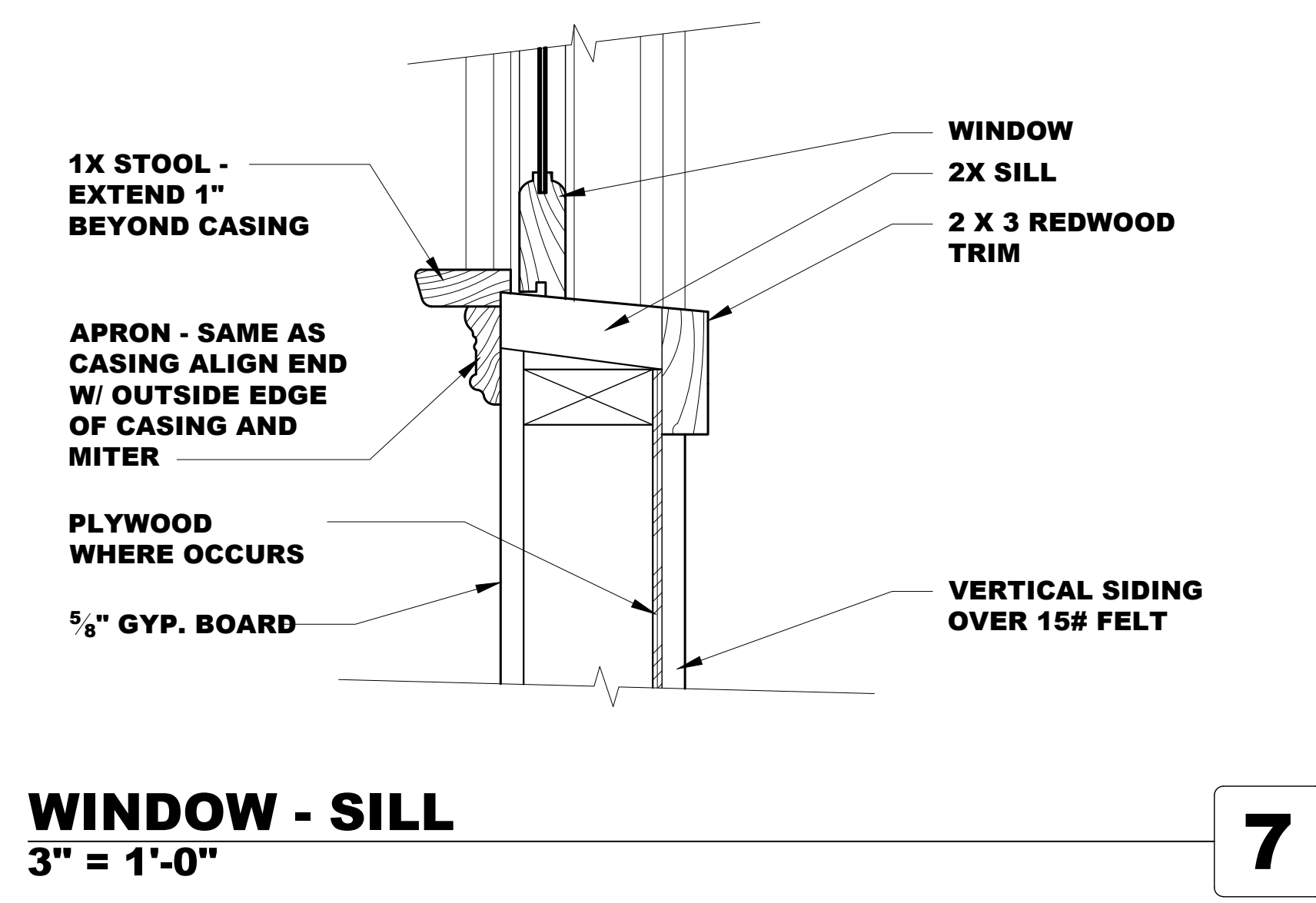
ART JURY EXTERIOR ELEVATION NOTES

- Muntins shall be an integral part of all windows and doors. "Snap-in/snap out" muntins are not allowed. **SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW.** Muntins may be no greater than 1/4" maximum on windows with insulated glass, since wood muntins must cover the gasket. The maximum muntin size for single panes shall be no greater than 1". Note on window schedule manufacturer and material of window. Muntin detail to be included on detail sheet.
- "Sill horn at all windows to extend a maximum of 2" to a minimum of 1 1/2" or shall match existing." Provide drawn detail indicating extended sill. Wood door stiles to be a maximum of 4 1/2" width.
- Any deviation from approved window and door muntin light sizes **MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**
- Any revisions to approved Art Jury plans must be submitted for review and approval prior to construction.
- Skylight shall be flat glass, curb mounted dark anodized frame, solar gray or solar bronze glass.
- Submit samples of all materials for Art Jury review prior to purchase.
- Submit separate landscape plan prior to framing.

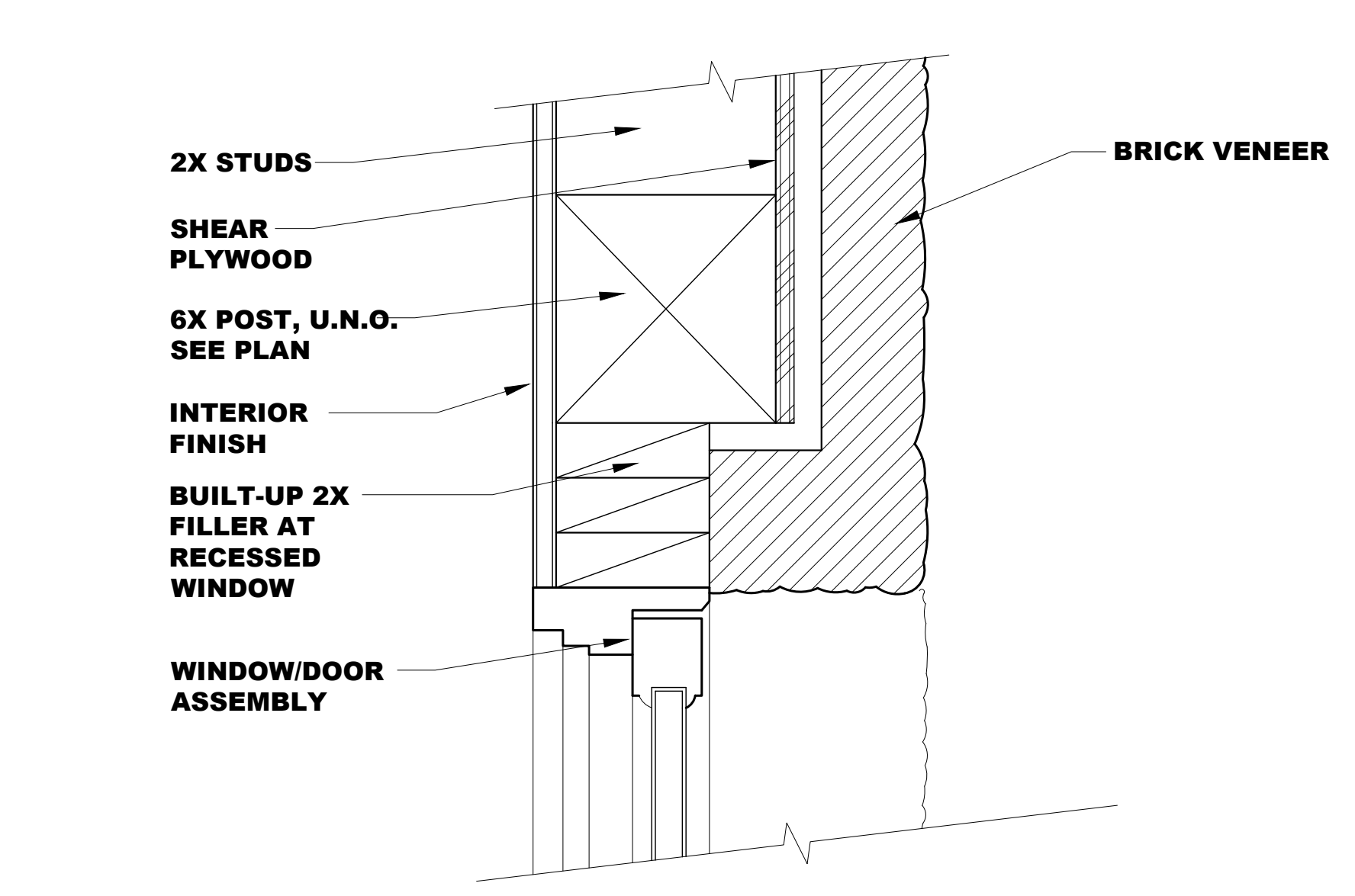
RIDGE HEIGHT NOTE:
 Finished ridge height shall not exceed the elevation shown on the plot plan (Allow for thickness of roofing materials). The ridge height shall be certified by a licensed surveyor on a form provided by the City prior to approval of the roof framing/sheathing by the Palos Verdes Estates Building and Safety Department.

DATE
SIGNATURE
JOSEPH FOURNIER REVISED
1
2
3
4
5
PROJECT # 2018 - 23

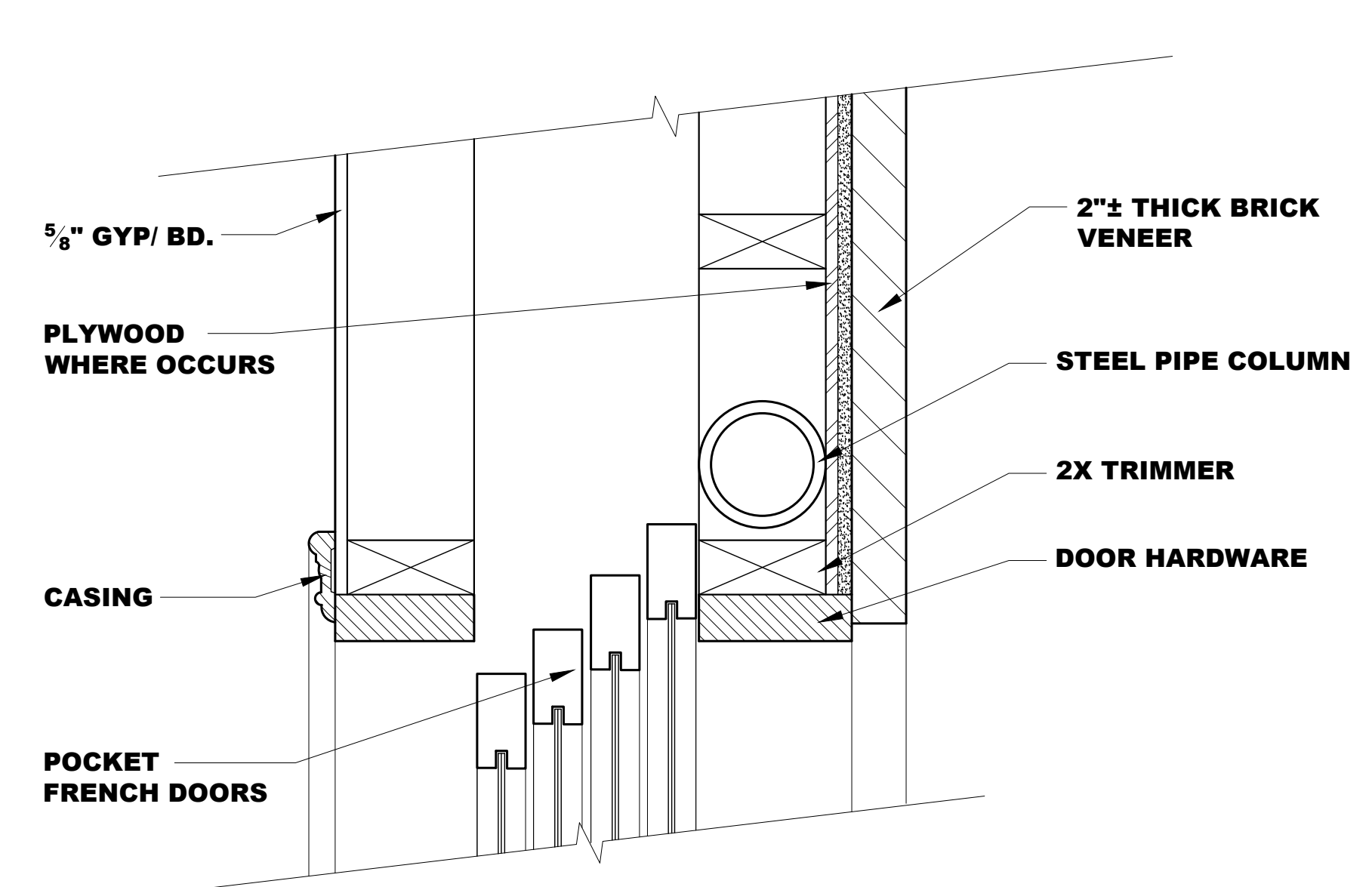
A8



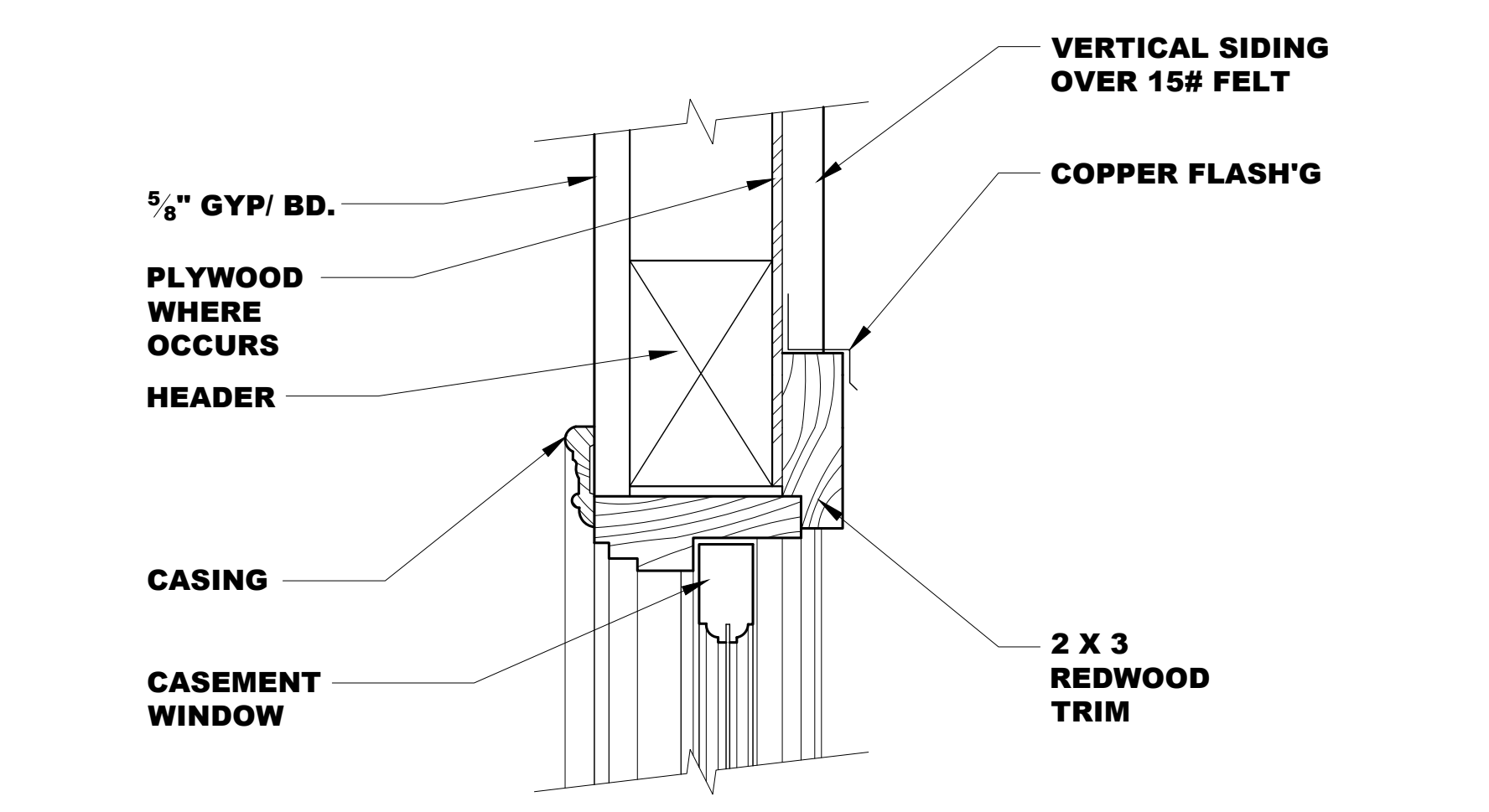
WINDOW - SILL
3" = 1'-0" 7



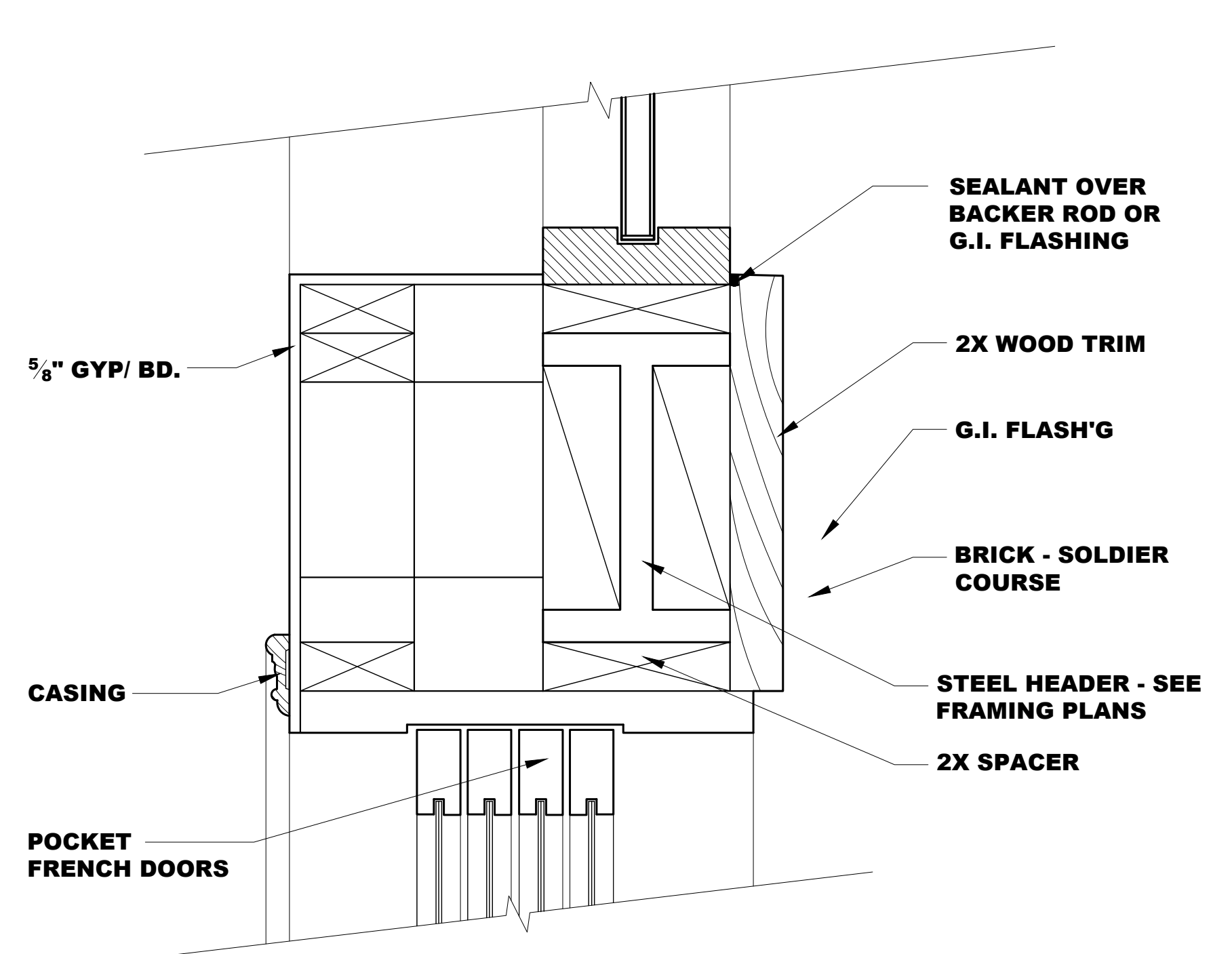
DOOR/WINDOW RECESS AT JAMB
3" = 1'-0" 4



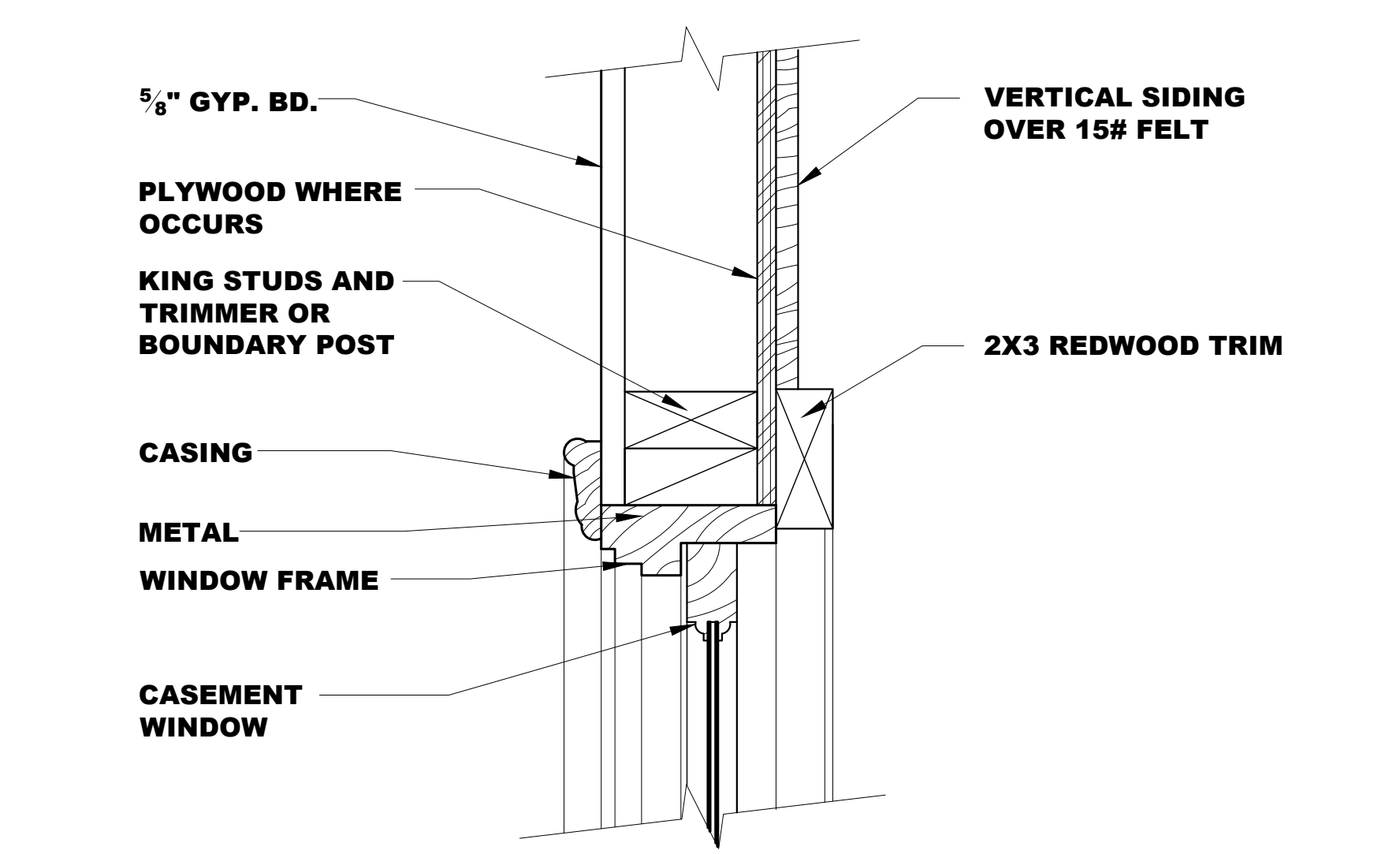
FRENCH DOORS / JAMB
3" = 1'-0" 1



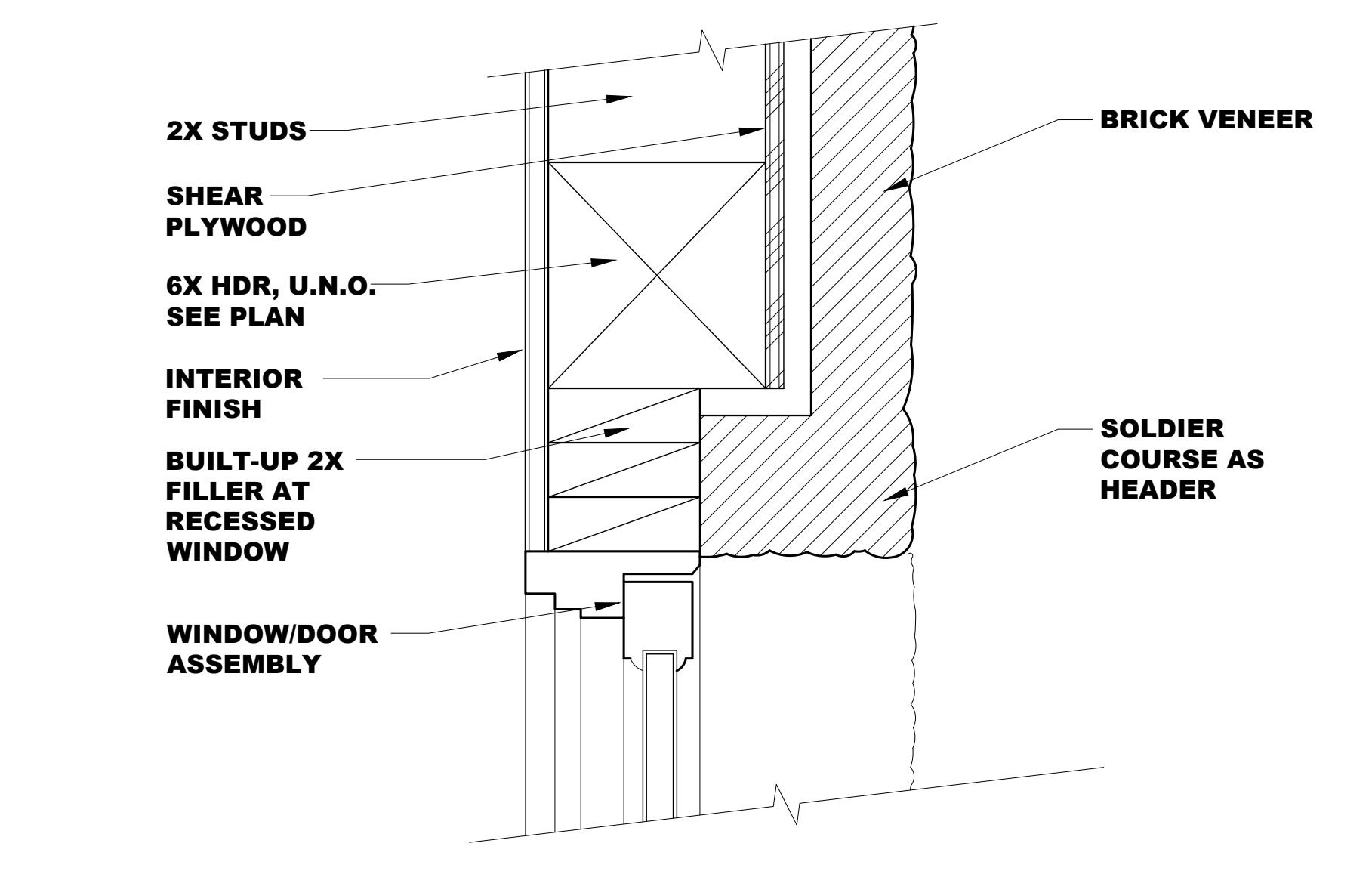
WINDOW/DOOR - HEAD
3" = 1'-0" 5



POCKET FRENCH DOORS - TRANSOM
3" = 1'-0" 2



WINDOW/DOOR - JAMB
3" = 1'-0" 6



DOOR/WINDOW RECESS AT HEAD
3" = 1'-0" 3