

PRITZKAT & JOHNSON
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106 VISTA DEL MAR, SUITE A
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NEW RESIDENCE FOR:

**JAY & ANNA
YAMAMOTO**

A new application and a new fee shall be required upon submission of plans for Art Jury consideration when one year or more has elapsed since the date of the last submission.

RECEIVED NOV 30 2020 RECEIVED

PALOS VERDES ART JURY
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PERMIT SET:
11.9.18

REVISED:
6.5.20

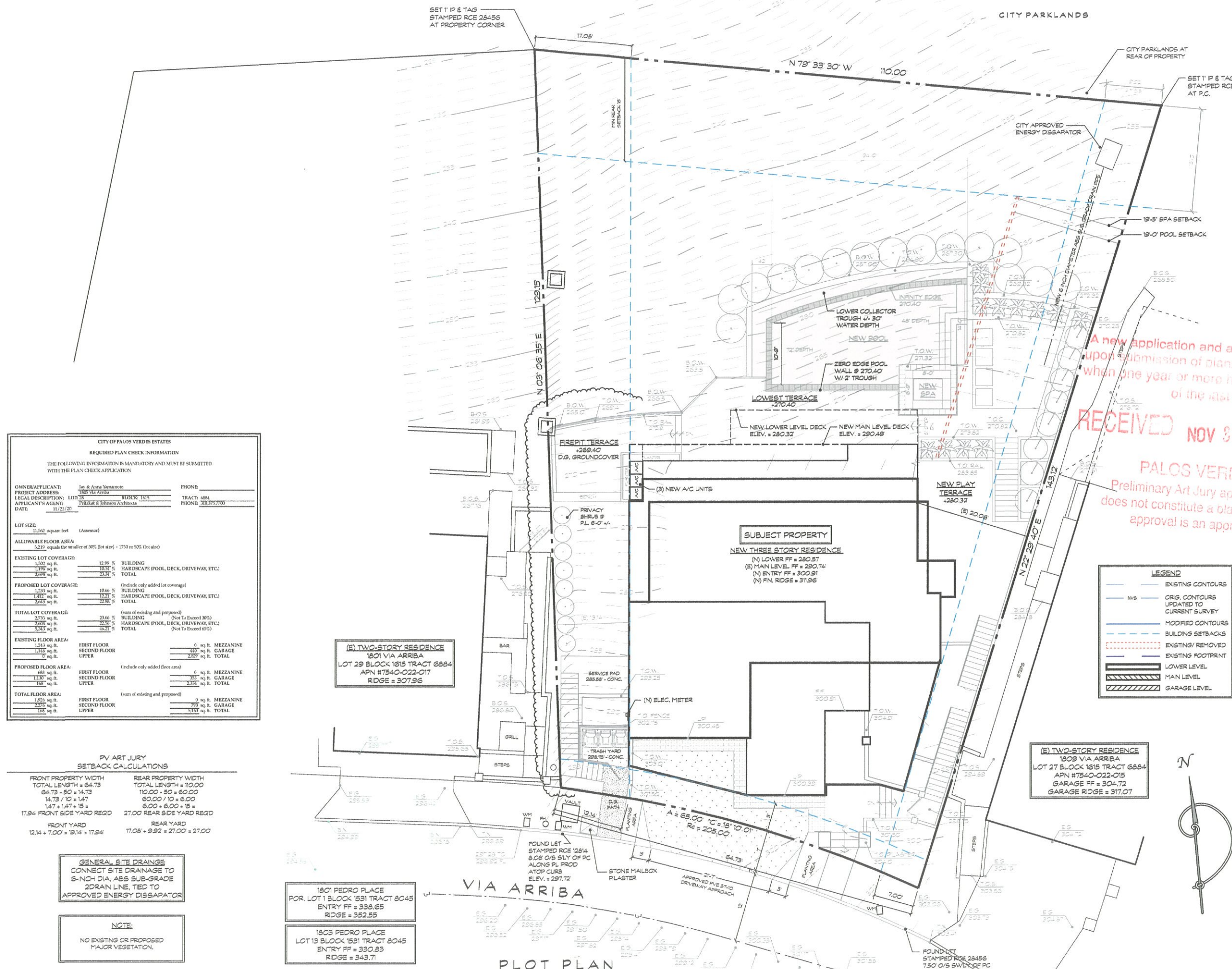
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REVISIONS

No.	Date	DESCRIPTION
1	01.6.19	CELLAR
2	11.25.19	STRUCTURAL
3	6.5.20	KITCHEN

A.I

11/00/20, 8:52 AM



CITY OF PALOS VERDES ESTATES
REQUIRED PLAN CHECK INFORMATION

THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION

OWNER/APPLICANT: Jay & Anna Yamamoto	PHONE:
PROJECT ADDRESS: 1805 Via Arriba	
LEGAL DESCRIPTION: LOT 29 TRACT 6884	
APPLICANT'S AGENT: Pritzkat & Johnson Architects	PHONE: 310.375.3700
DATE: 11/23/20	

LOT SIZE: 11,562 square feet (Assessed)	
ALLOWABLE FLOOR AREA: 5,212 (equals the smaller of 30% (lot area) - 1750 or 50% (lot size))	
EXISTING LOT COVERAGE:	13.99 % BUILDING
1.76 % HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)	15.31 % TOTAL
2.68 %	21.31 %
PROPOSED LOT COVERAGE:	(include only added lot coverage)
1.73 % BUILDING	12.21 % HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)
1.71 %	13.92 % TOTAL
2.63 %	21.86 %
TOTAL LOT COVERAGE:	(sum of existing and proposed)
2.73 % BUILDING	23.66 % HARDSCAPE (POOL, DECK, DRIVEWAY, ETC.)
2.65 %	26.57 % TOTAL (Not To Exceed 60%)
5.38 %	60.21 %
EXISTING FLOOR AREA:	
1,231 sq. ft. FIRST FLOOR	0 sq. ft. MEZZANINE
1,145 sq. ft. SECOND FLOOR	210 sq. ft. GARAGE
7 sq. ft. UPPER	2,386 sq. ft. TOTAL
PROPOSED FLOOR AREA:	(include only added floor area)
681 sq. ft. FIRST FLOOR	0 sq. ft. MEZZANINE
1,180 sq. ft. SECOND FLOOR	353 sq. ft. GARAGE
160 sq. ft. UPPER	2,394 sq. ft. TOTAL
TOTAL FLOOR AREA:	(sum of existing and proposed)
1,912 sq. ft. FIRST FLOOR	0 sq. ft. MEZZANINE
2,325 sq. ft. SECOND FLOOR	773 sq. ft. GARAGE
167 sq. ft. UPPER	3,162 sq. ft. TOTAL

PV ART JURY SETBACK CALCULATIONS

FRONT PROPERTY WIDTH TOTAL LENGTH = 64.73 64.73 - 5.0 = 14.73 14.73 / 10 = 1.47 1.47 + 1.47 + 1.5 = 4.44	REAR PROPERTY WIDTH TOTAL LENGTH = 10.00 10.00 - 5.0 = 60.00 60.00 / 10 = 6.00 6.00 + 6.00 + 1.5 = 13.50
17.94' FRONT SIDE YARD REQD	27.00' REAR SIDE YARD REQD
FRONT YARD 12.14 + 7.00 = 19.14' > 17.94'	REAR YARD 17.06 + 9.92 = 27.00' = 27.00'

GENERAL SITE DRAINAGE
CONNECT SITE DRAINAGE TO
6-INCH DIA. ABS SUB-GRADE
2-DRAIN LINE, TIED TO
APPROVED ENERGY DISSIPATOR

NOTE:
NO EXISTING OR PROPOSED
MAJOR VEGETATION.

(E) TWO-STORY RESIDENCE
1801 VIA ARRIBA
LOT 29 BLOCK 1815 TRACT 6884
APN #7540-022-017
RIDGE = 307.96

1801 PEDRO PLACE
POR. LOT 1 BLOCK 1531 TRACT 8045
ENTRY FF = 338.65
RIDGE = 352.55

1803 PEDRO PLACE
LOT 13 BLOCK 1531 TRACT 8045
ENTRY FF = 330.85
RIDGE = 343.71

(E) TWO-STORY RESIDENCE
1809 VIA ARRIBA
LOT 27 BLOCK 1815 TRACT 6884
APN #7540-022-015
GARAGE FF = 304.72
GARAGE RIDGE = 317.07

PLOT PLAN

NOTE:
PER CALIFORNIA SB NO. 407 ALL NON-COMPLIANT PLUMBING FIXTURES ARE TO BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES

NOTE:
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SHALL BE PROVIDED IN THE NEW DWELLING UNIT(S) PER SECTION R313.2.

STAIR NOTES:
ALL STAIRWAYS SHALL HAVE 7 3/4" MAX RISER 10" MIN TREAD PER R311.7.4.1 AND R311.7.4.2 W/ MIN HEADROOM OF 6'-8" PER R311.7.2

NOTE:
INSULATE ALL INTERIOR WALLS

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS

1. PROVIDE APPROVED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH CBC AT ALL EXISTING BEDROOMS AND HALLS OUTSIDE OF BEDROOMS AND NOT LESS THAN 36" FROM A BATHROOM CONTAINING A SHOWER AND/OR BATHTUB
2. IN NEW CONSTRUCTION THE REQD SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL BE INTERCONNECTED. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXIST'G SLEEPING ROOMS AND HALLWAYS.
3. WHERE MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM OR CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CRC 315.3 OUTSIDE EACH SLEEPING AREA, FOR EACH FLOOR/STORY AND WITHIN BEDROOMS WITH A FUEL BURNING APPLIANCE OR ITS ATTACHED BATHROOMS.
5. SINGLE-STATION AND MULTI-STATION SMOKE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.211 FOR GROUP R1 AND R-2 OCCUPANCIES; AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
6. SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE (WITH EXCEPTION OF PERMITTED IONIZATION SMOKE ALARMS). PER CRC 314.3.3
7. FOR TRAY-SHAPED CEILINGS (COFFERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 IN. (300 MM) VERTICALLY DOWN FROM THE HIGHEST POINT. PER CRC 314.3.3

*** EGRESS WINDOWS**

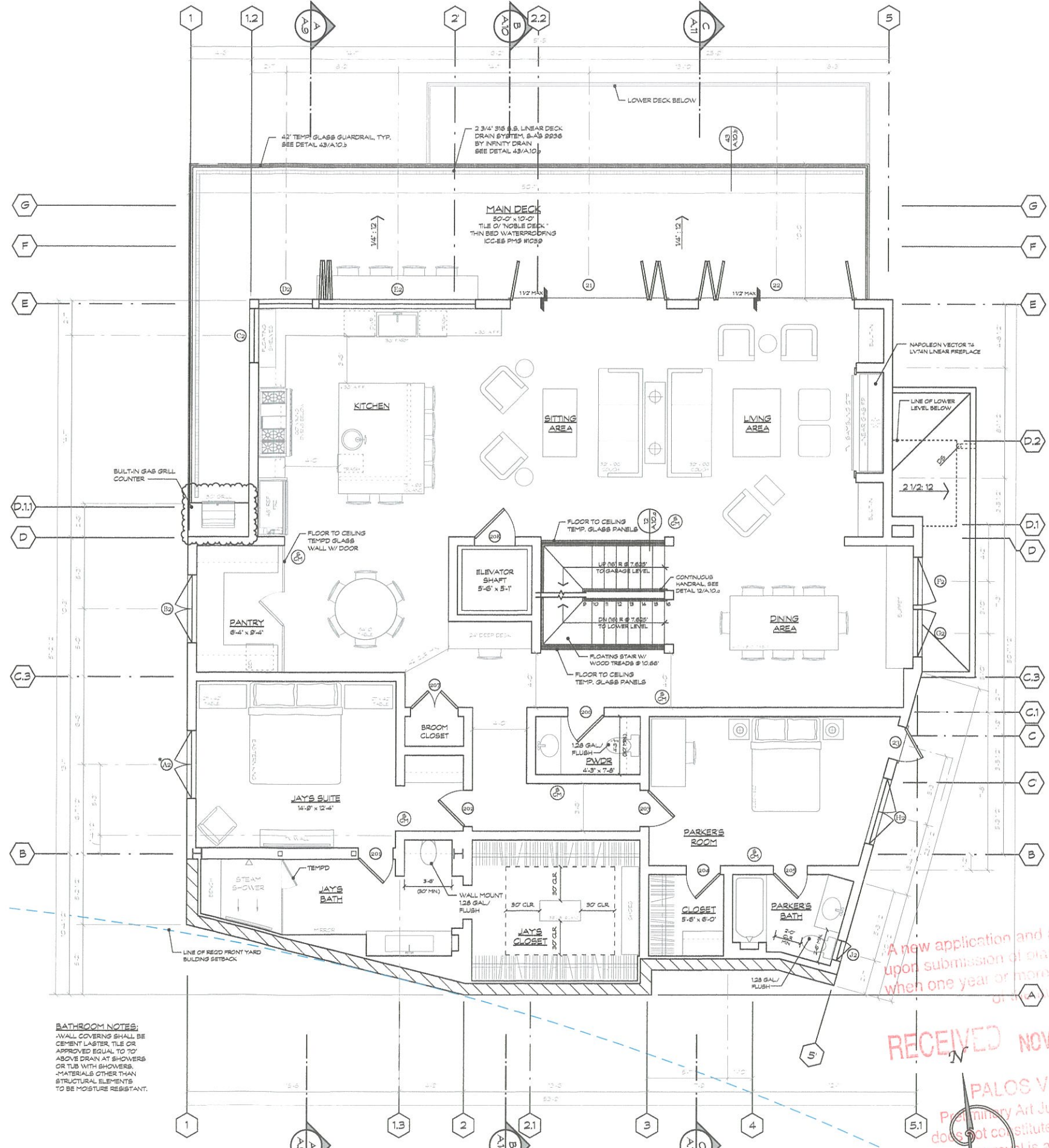
1. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET
2. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24"
3. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20"
4. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A BOTTOM CLEAR OPENING HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

DIMENSION PLAN NOTES:

1. MEASUREMENTS TAKEN FROM FACE OF STUD OR CENTER OF WALL, U.N.O.
2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES FOUND IN THE FIELD OR IF ADDITIONAL DIMENSIONS ARE NEEDED

LEGEND	
[Symbol]	NEW STUD WALLS
[Symbol]	STONE VENEER
[Symbol]	CRIPPLE WALL
[Symbol]	RETAINING WALL
[Symbol]	EXISTING WALLS
[Symbol]	REMOVED WALLS

NOTES	
[Symbol]	RADIANT HEATING



BATHROOM NOTES:
-WALL COVERING SHALL BE CEMENT LASTER, TILE OR APPROVED EQUAL TO 10" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS.
-MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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A new application and a... upon submission of plan... when one year or more...

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A.3

FIRE DEPARTMENT NOTES FOR ROOF MATERIALS

1. ALL ROOF COVERINGS SHALL BE CLASS 'A' AS SPECIFIED IN BUILDING CODE 1505.2. WOOD SHINGLE AND WOOD-SHAKE ROOFS ARE PROHIBITED IN VERY HIGH FIRE HAZARD SEVERITY ZONES REGARDLESS OF CLASSIFICATION. BUILDING CODE 704A.1.2
2. ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN 0'9-INCH (NO.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3)
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (RESIDENTIAL CODE R327.5.34 AND BUILDING CODE 705A.4)
7. VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE. VENT OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN 1/16" INCH OPENINGS, AND SHALL NOT EXCEED 1/8" INCH. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 706A.1)

ROOF NOTES

1. THE FINISHED RIDGE HEIGHT (INCLUDING ROOFING MATERIAL) SHALL NOT EXCEED THE HEIGHT LISTED ON THE PLOT PLAN.
2. ROOF PITCH PER ROOF PLAN
3. COORDINATE ROOFING, SHEET METAL WORK AND CHIMNEY WORK TO PROVIDE A COMPLETE WATERPROOF INSTALLATION.
4. PAINT ALL EXPOSED SHEET METAL, VENTS, CRICKETS, ETC. TO MATCH COLOR OF TILES IN CONFORMANCE WITH PAINTING SPECIFICATIONS.
5. THE RIDGE HEIGHT SHALL BE CERTIFIED BY A LICENSED SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMING/SHEATHING BY THE PALOS VERDES ESTATES BUILDING AND SAFETY DEPT.
6. TILE ROOFING MATERIAL SHALL NOT EXCEED 12 POUNDS PER SQUARE FOOT.

TILE ROOF NOTES

MATERIAL: INTERLOCKING FLAT TILE ROOF AS MANUFACTURED BY GLADDING MC BEAN, TO BE A CLASS 'A' ROOF. "SPANISH BAY BLEND", CONFORMING TO ASTM-1167

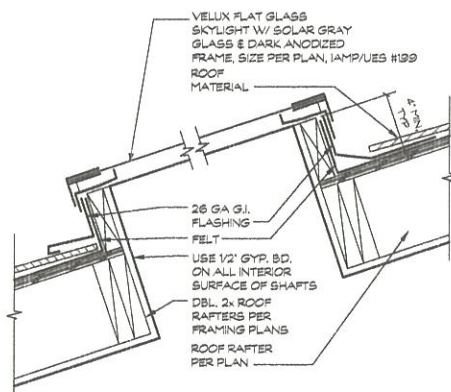
INSTALLATION ON 2 1/2:12 SLOPES AND GREATER: INSTALLATION AS STIPULATED R905.3 OF THE CURRENT CALIFORNIA RESIDENTIAL CODE AND MANUFACTURERS PRINTED INSTRUCTIONS.

INSTALLATION ON SLOPES FROM 2:12 AND LESS:

USE POLYFLEX CLASS 'A' MEMBRANE ROOF SYSTEM NO. 11 PER ESR-2018

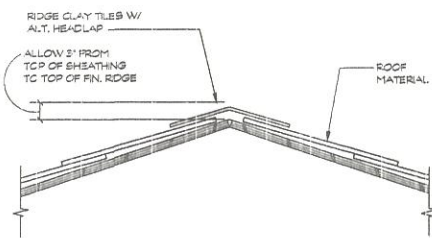
INSTALL FLAT CLAY TILE LISTED ABOVE AS DECORATIVE ROOFING MATERIAL.

INSTALLATION OF DECORATIVE TILES: ATTACH TILES USING ICP ADHESIVES POLYSET AH-160 CONFORMING TO ICC-ESR-1709.



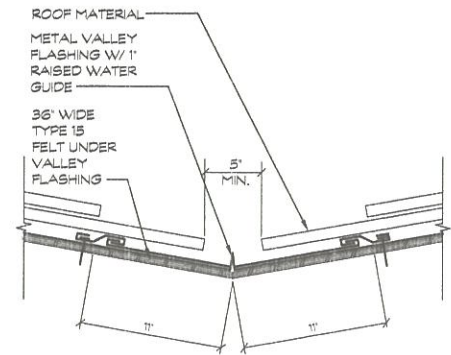
11 SKYLIGHT DETAIL

SCALE: 1 1/2" = 1'-0"



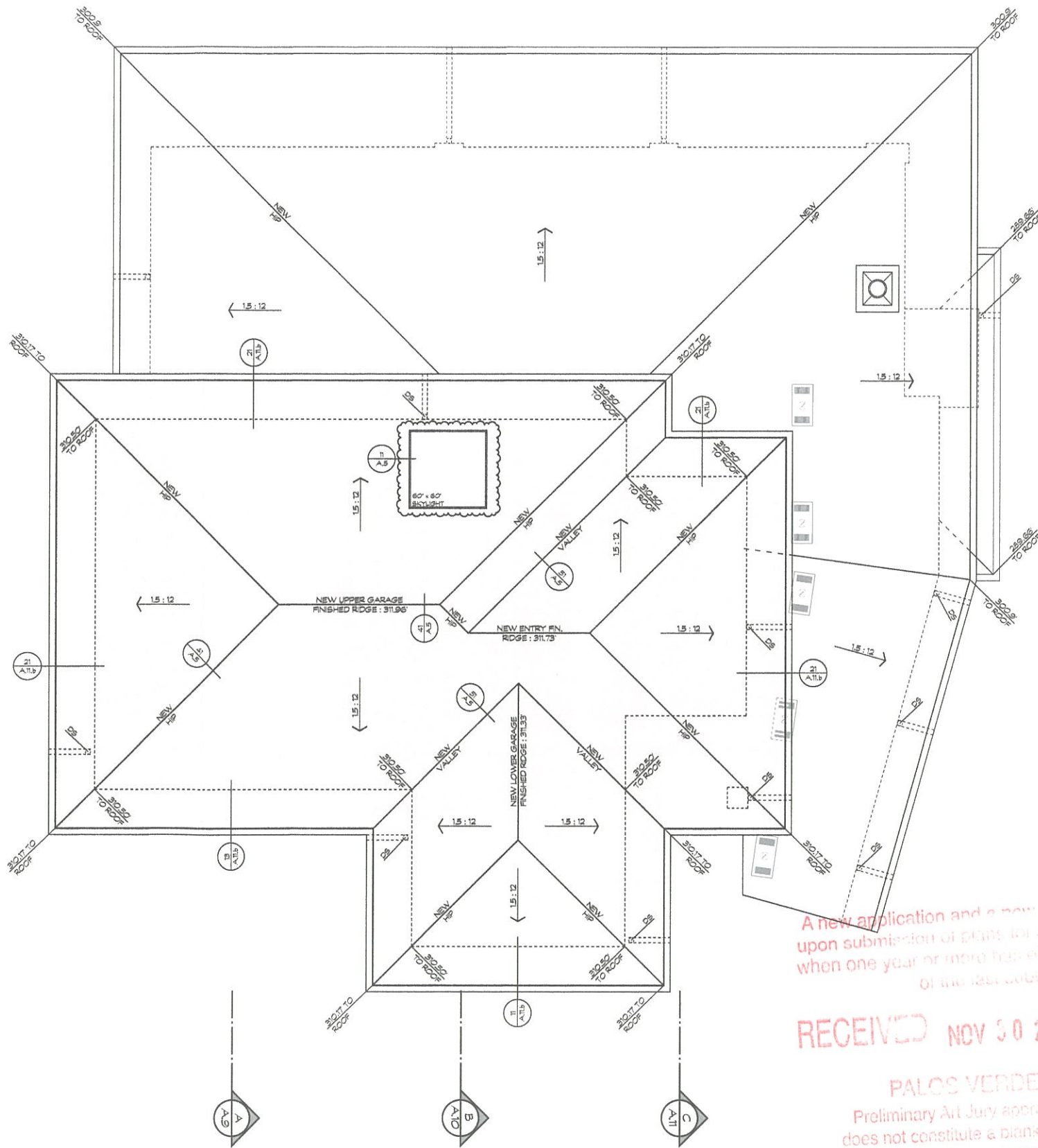
41 RIDGE/HIP DETAIL

SCALE: 1 1/2" = 1'-0"



51 VALLEY FLASHING DETAIL

SCALE: 1 1/2" = 1'-0"



GARAGE LEVEL ROOF PLAN

SCALE: 1/4" = 1'-0"



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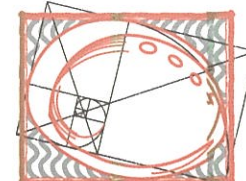
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A.5



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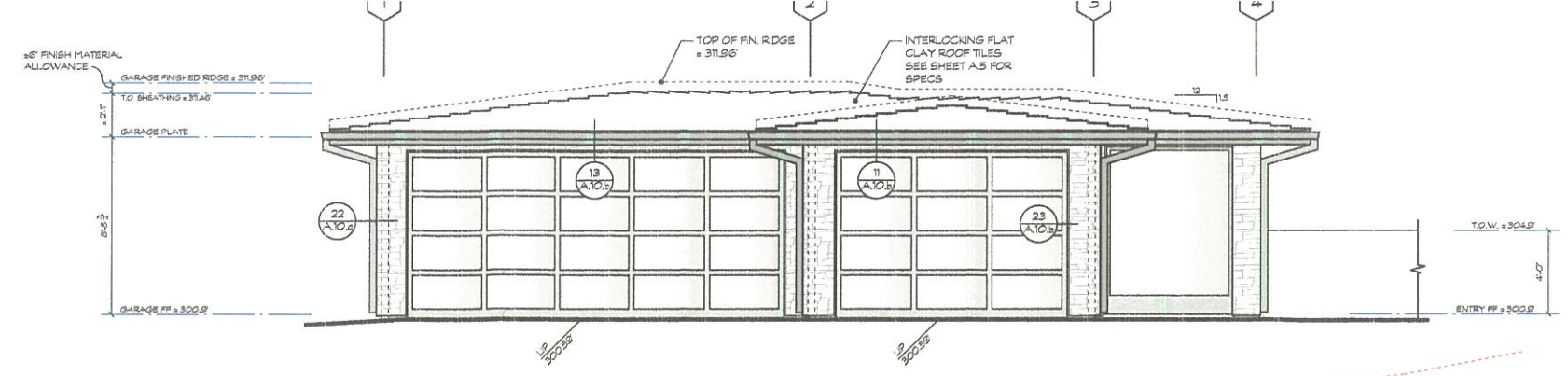
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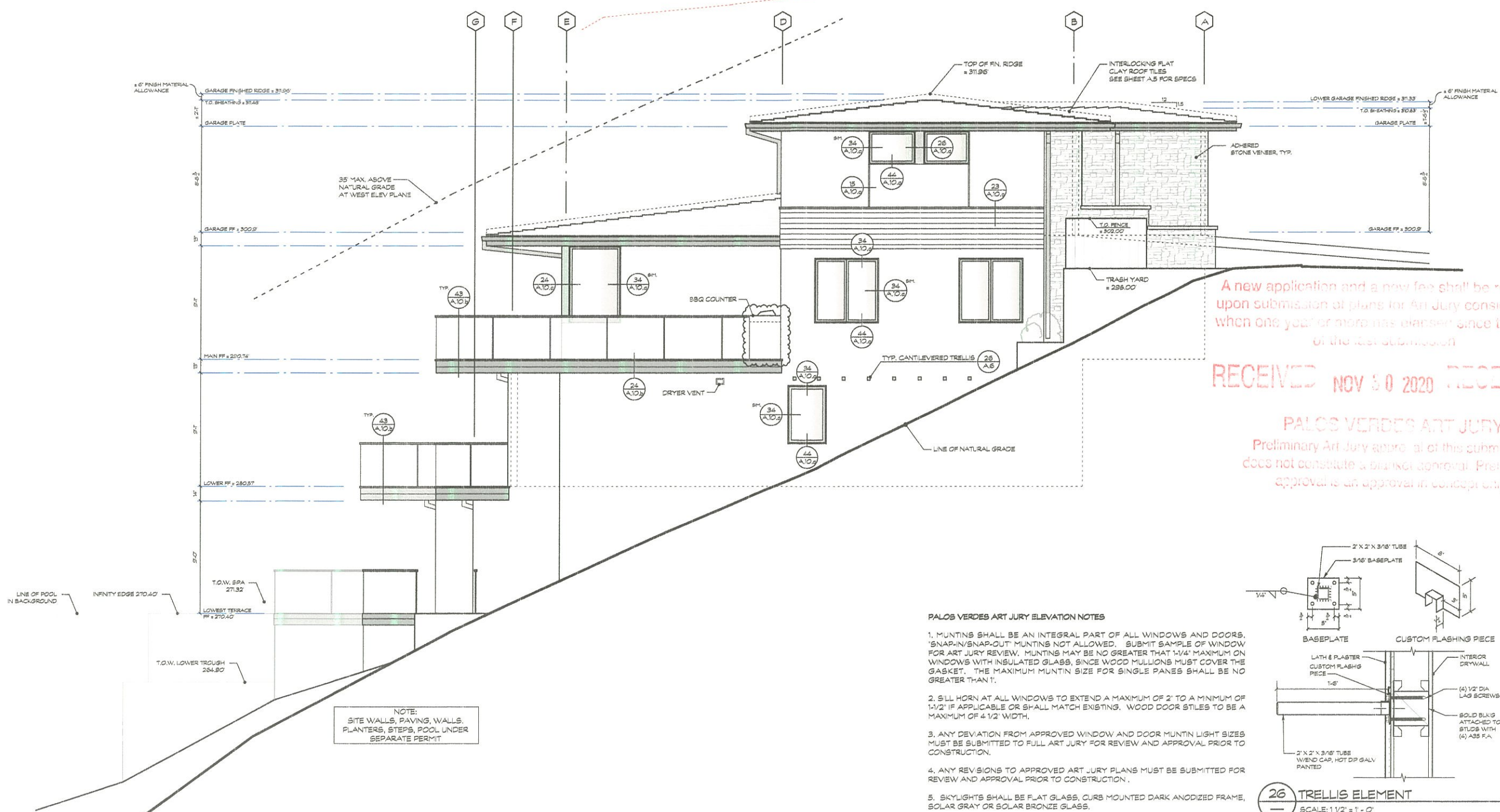
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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
SITE WALLS, PAVING, WALLS,
PLANTERS, STEPS, POOL UNDER
SEPARATE PERMIT

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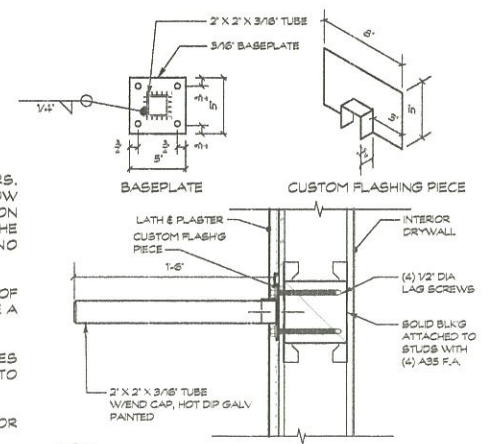
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PALOS VERDES ART JURY ELEVATION NOTES

- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. 'SNAP-IN/SNAP-OUT' MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS, SINCE WOOD MULLIONS MUST COVER THE GASKET. THE MAXIMUM MUNTIN SIZE FOR SINGLE PANEES SHALL BE NO GREATER THAN 1".
- SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1 1/2" IF APPLICABLE OR SHALL MATCH EXISTING. WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH.
- ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.

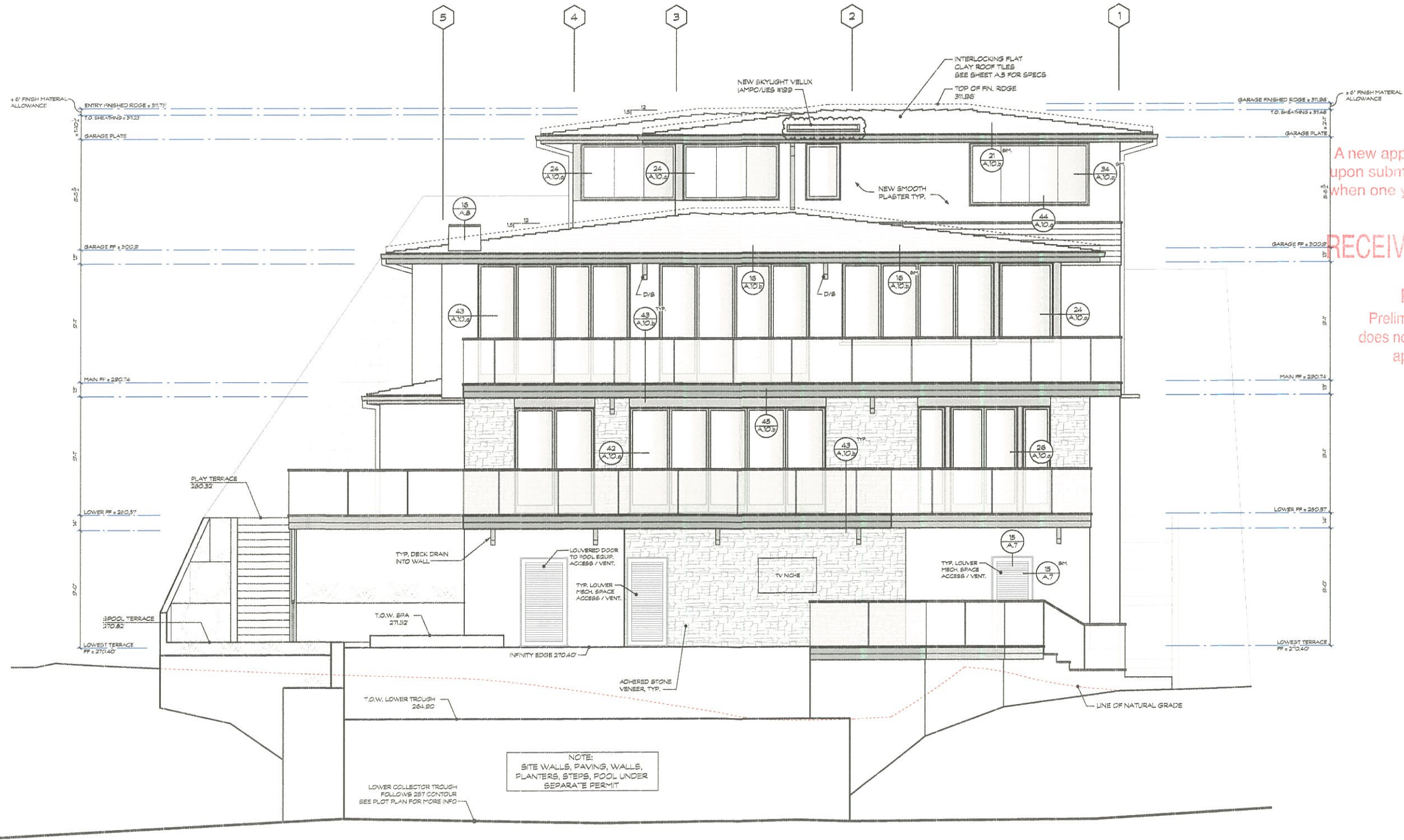
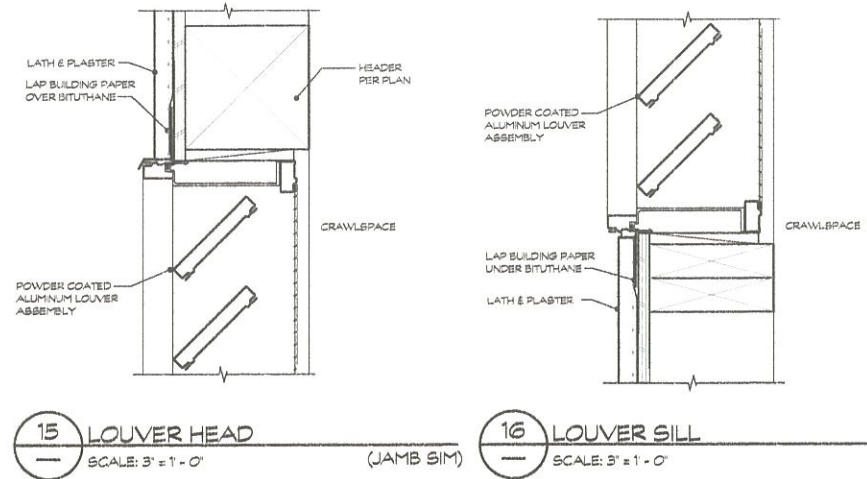


26 TRELLIS ELEMENT
SCALE: 1 1/2" = 1'-0"

A.6

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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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