



PRITZKA & JOHNSON ARCHITECTS

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KEITH B. JOHNSON ARCHITECT

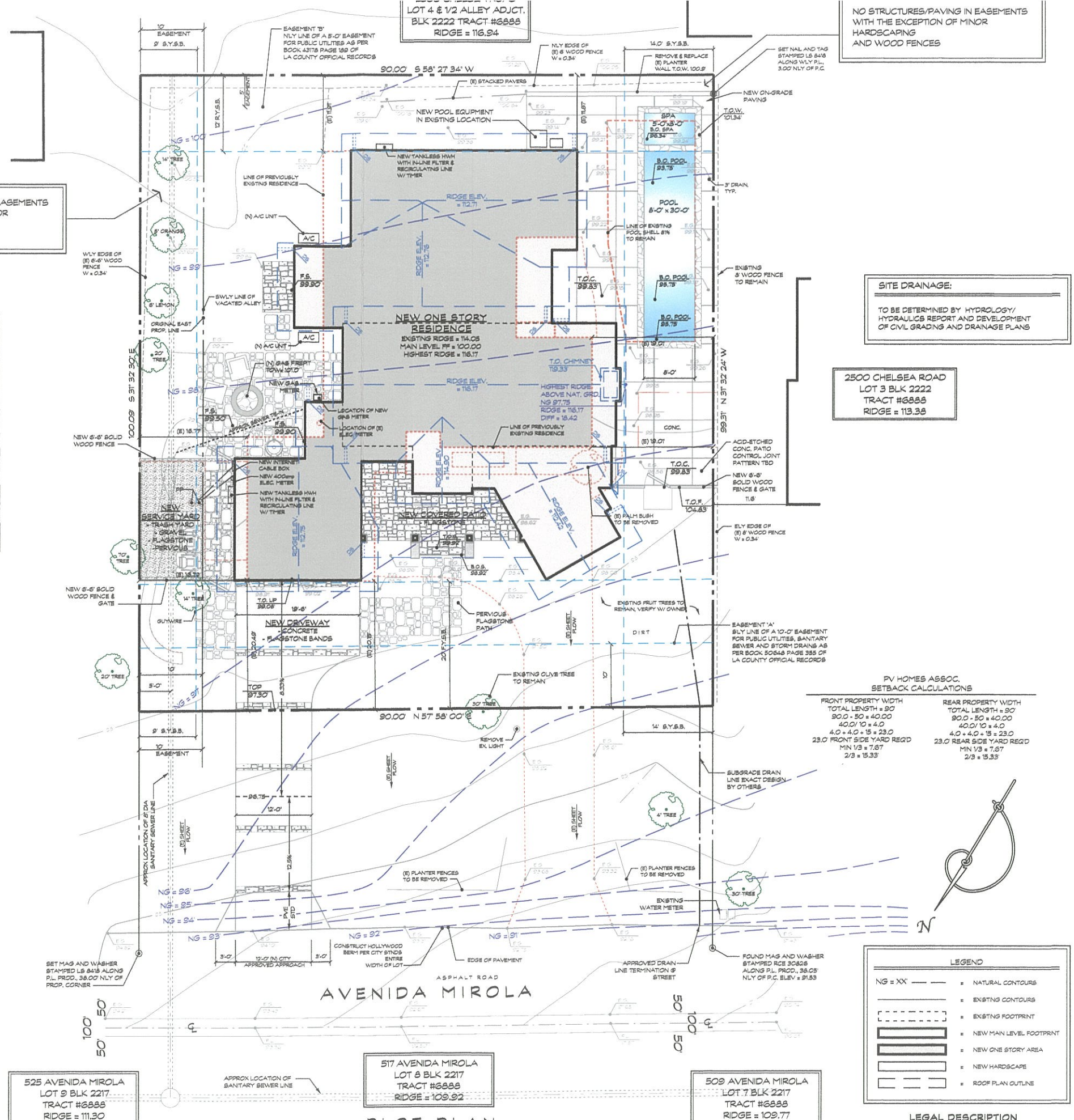
306 VISTA DEL MAR, SUITE A REDONDO BEACH, CALIFORNIA 90277

TEL: 310.375.7700 FAX: 310.375.4375

NEW RESIDENCE FOR:

DAVE & MARCIA STREETER

516 Avenida Mirola Palos Verdes Estates California 90274



NO STRUCTURES/PAVING IN EASEMENTS WITH THE EXCEPTION OF MINOR HARDSCAPING AND WOOD FENCES

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SITE DRAINAGE: TO BE DETERMINED BY HYDROLOGY/HYDRAULICS REPORT AND DEVELOPMENT OF CIVIL GRADING AND DRAINAGE PLANS

2500 CHELSEA ROAD LOT 3 BLK 2222 TRACT #6888 RIDGE = 113.38

524 AVENIDA MIROLA LOT 10 & 1/2 ALLEY ADJCT. BLK 2222 TRACT #6888 RIDGE = 115.65

PV HOMES ASSOC. SETBACK CALCULATIONS

FRONT PROPERTY WIDTH	REAR PROPERTY WIDTH
TOTAL LENGTH = 90'	TOTAL LENGTH = 90'
90.0 - 50 = 40.00	90.0 - 50 = 40.00
40.0 / 10 = 4.0	40.0 / 10 = 4.0
4.0 + 4.0 + 15 = 23.0	4.0 + 4.0 + 15 = 23.0
23.0 FRONT SIDE YARD REQD	23.0 REAR SIDE YARD REQD
MIN 1/3 = 7.67	MIN 1/3 = 7.67
2/3 = 15.33	2/3 = 15.33

A new application and a new fee shall be required upon submission of plans for Art Jury consideration when one year or more has elapsed since that date of the last submission

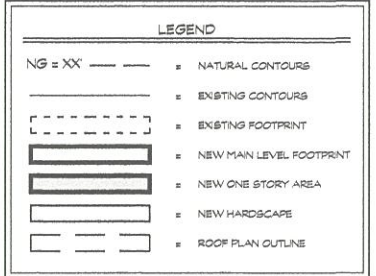
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PALOS VERDES ART JURY Preliminary Art Jury approval of this submission does not constitute a blanket approval. Preliminary approval is an approval in concept only.

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE WET STAMPED BY ARCHITECTOR ENGINEER OR HAVE PERMIT SET™ PRINTED ON THEM IN THE SPACE ABOVE

REVISIONS

Date	DESCRIPTION



LEGAL DESCRIPTION LOT 1, NE 30 FT OF LOT 2 1/2 VAC ALLEY ADJ ON NE BLOCK 2222 TRACT 6888

PLOT PLAN SCALE: 1/8" = 1'-0"

A.I